

# Living Well

in  
Simpson County





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### **Central MS Planning and Development District**

The Central Mississippi Planning and Development District (CMPDD) is a non-profit corporation established in 1968 in accordance with the Intergovernmental Cooperation Act of 1968 (Public Law 90-577) and Part IV of the U.S. Office of Management and Budget Circular A-95, and by Executive Order 81 under Governor John Bell Williams. CMPDD is one of ten Planning and Development Districts in Mississippi. CMPDD's primary role is to assist local entities with finding creative regional solutions to relevant and emerging issues in areas such as planning, government management, and human resource coordination. CMPDD primarily provides services to Copiah, Hinds, Madison, Rankin, Simpson, Warren and Yazoo Counties. CMPDD's activities are administered by the Chief Executive Officer, F. Clarke Holmes, and the activities of the District are carried out by specialized staff members including two AICP (American Institute of Certified Planners) certified planners. CMPDD has provided comprehensive planning services to its member governments and across the state since its beginning in 1968.

### **Economic Analyst**

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# Executive Summary

The Simpson County Economic Development District, with the support of the Cities of Magee and Mendenhall, and Simpson County, commissioned the Simpson County Health Care Zone Master Plan. The intent of this Master Plan is to provide the Simpson County Economic Development District and the local governments with a uniform plan for the growth, through retention and recruitment, of the health care industry in Simpson County.

Following the recommendations and implementation steps of “Blueprint Mississippi Healthcare,” Governor Phil Bryant introduced the Mississippi Health Care Industry Zone Act (HB 1537), and it was signed into law in May 2012. A health care related business that creates 25 new jobs or invests \$10 million and locates in a Health Care Zone can receive business incentives from the State. Specifically, businesses who qualify are eligible for an accelerated, 10-year state income tax depreciation deduction and a sales tax exemption for equipment and materials purchased for a new facility. Additionally, the legislation allows local governments to offer qualified businesses local incentives such as a property tax “fee-in-lieu” for 10 years or a 10-year ad valorem tax exemption.

In the case of Simpson County, there are two qualified Health Care Zones as a result of three contiguous counties having a combined Certificate of Need for 375 Acute Care Beds. This Master Plan serves both eligible Zones. The Master Plan provides a market study for both areas that identifies target industries, Target Site Master Plans around each hospital, suggested boundaries and language for zoning overlay districts, business incentives, and suggested marketing materials.

## Zone Identification

While Simpson County itself is not heavily populated, the county is in an ideal location to serve a large amount of the state’s population.

The two health care zones incorporate a five mile radius of each hospital (Magee General and Simpson General). The northern health care zone around Simpson General Hospital includes the City of Mendenhall and the Town of D’Lo. The zone around Magee General Hospital includes the entire City of Magee.

The target sites are narrowed to areas in closer proximity to the hospitals. Both areas are inside the incorporated cities of Magee and Mendenhall and development can be guided through existing and proposed zoning controls. These areas also benefit from existing infrastructure.



## Environmental Scan and Asset Mapping

The CMPDD conducted an analysis of the existing demographic data, a field survey of existing health care industries, and interviewed health care industry stakeholders to complete the environmental scan and asset mapping.

According to the 2010 U.S. Census, the 50 mile radius around the City of Magee contains 824,707 persons or approximately 28% of the states total population. With the exception of the Mississippi Gulf Coast counties, the 50 mile radius of Magee has the highest persons per square mile density than any other region within the state.

A windshield survey of existing land uses within the Simpson County Health Care Zone boundaries was conducted in March 2014. The survey identified 53 Health Care businesses that were operational in March 2014. These businesses include but are not limited to two hospitals, three mental health facilities, seven physicians' offices, some of which house multiple physicians, eight pharmacies, and numerous medical suppliers, home health and hospice providers, physical therapy clinics, and a hospital and medical clinic billing firm. During the analysis of the geographic data collected, areas around both hospitals were quickly identified as the "cluster center." The health care related businesses in Simpson County employ over 2,200 people.



This collection of data also revealed that, as a rural county, Simpson County serves as a regional hub for primary, or basic, health care. According to both hospitals, their patient population encompasses Copiah, Covington, Jefferson Davis, Lawrence, and Smith Counties, in addition to Simpson County. These are very rural counties with very limited access to health care. It is reasonable to assume that Simpson County serves as the primary and emergency care location for this rural region, but the majority of the population travels to Hattiesburg or Jackson for specialty care.

Furthermore, it is vital to note that the 50 mile radius from the City of Magee contains approximately 3,600 health care businesses according to Dun and Bradstreet data. This is the highest concentration of health care businesses in the state. In fact, the Magee radius has approximately 600 more health care businesses than a 50 mile radius centered in the City of Jackson.

A total of twelve stakeholders were interviewed. In summary, the stakeholders noted that the greatest asset within the Simpson County Health Care Zone is transportation access and its existing health care industry. No one type of business

was singled out as being the most successful; however, several stakeholders mentioned the success of both hospitals, numerous pharmacies, and medical equipment supply businesses. All expressed the need for and likely success of non-emergency medical transport, specialty health care providers, and additional assisted living/nursing home facilities. The strong relationship between Copeiah-Lincoln Community College and the existing health care related businesses was noted as a vital asset to the community.

### **Market Demand and Economic Impact**



Health care is an important part of the Simpson County economy. Over 40 percent of total employment is in the Health Care and Social Assistance sector. The Location Quotient (LQ) of the health care sector is 2.20, meaning Simpson County employment in this sector is more than twice as concentrated as the Mississippi statewide average. Just to the south in the Hattiesburg region, the health care sector has an LQ of 1.3. To the north, the health care sector in the Jackson region has an LQ of 1.24. Even though it is

less urbanized, the health care industry is a more important part of the economy in Simpson County than it is in adjacent metro areas.

Some occupations are expected to grow significantly in the Copeiah-Lincoln Community College district, which includes Simpson County. Registered nurses, licensed practical and vocational nurses, and nursing aides are expected to combine to have over 100 job openings each year through 2020.

A number of opportunities for growing the healthcare sector in Simpson County were identified. These opportunities include a need for more medical service providers, medical administration services, non-emergency transportation, and laundry services.

There appears to be a shortage of physician's offices because of the low concentration of employment in this sector and the increased risk of disease based on demographics in the county. There is an opportunity to increase the number of physicians and support staff based on this imbalance.

Adding 70 jobs in the physician's office sector would create a significant economic impact. Including the multiplier effect there would be an additional 94 jobs in Simpson County. These jobs would have a total payroll of almost \$4.4 million. A total of about \$5.2





million would be added to the Simpson County economy.

Building on the strengths in Simpson County that have allowed Pioneer Health Services to be successful could add jobs in the office administrative

services sector. Adding 100 jobs in this sector would add a total of 136 jobs in the county, including the multiplier effects. These jobs would have an associated payroll of \$5.6 million.

Interviews with local healthcare leaders revealed that there is a shortage of non-emergency passenger transportation. Adding 100 jobs in ground transportation services would create a total of about 122 jobs in Simpson County. Total labor income associated with these jobs would approach \$5.1 million.

Local healthcare leaders also indicated that they are using laundry services provided by companies located more than 150 miles away. The IMPLAN commodity balance sheet estimates that 60 percent of Simpson County inputs in this sector are purchased from outside of the county. This points to an opportunity for increased production of these services within the county. Adding 100 jobs in laundry services would result in a total of 112 jobs in the county. These jobs would have payrolls totaling almost \$2.8 million.

## **Master Plan**

Two target sites were identified within the Simpson Health Care Zones. Both are areas around the hospitals. The Magee site is in the downtown area and contains Magee General Hospital (MGH) and the Medical Towers at Tuscon Court. The Mendenhall site is located at the intersection of Simpson Highway 149 and MS Highway 13. Current development on this site includes Simpson General Hospital (SGH).

Both of these areas have developed in a way that they currently serve as health care clusters. Through proper planning and development of incentives, additional health care related businesses may locate within these two areas.

For the purpose of this master plan, the following six land use categories were identified:

- Downtown Commercial
- Public/Quasi-Public
- Services/Retail Commercial
- Hospital
- Parks/Open Space
- Medical Office

Within the two target sites potential development yields have been calculated for Medical Office and Services/Retail Commercial uses. There is a potential for 79,061 square feet of single story Medical Office development and 81,544 square feet of Services/Retail Commercial in the two target sites. Both hospitals have room for expansion on their current sites. While there is no land designated for industrial uses in the two target sites, there is ample room for development within the Simpson County Industrial Park and the Simpson County Business Park.



To create healthy communities, the cities of Magee and Mendenhall should promote and host a seasonal farmers market. Many communities are recognizing the economic opportunities, as well as the health benefits of farmers markets. Buying fresh produce from local farmers markets not only promotes a healthier diet, but also benefits the local economy and can be a great community activity. The cities should also adopt a Complete Streets Policy. Complete street policies can improve safety and also encourage walking or bicycling which offers the potential for improved health. Complete Street policies encourage the incorporation of sidewalks, pedestrian and bicycle lanes and wide shoulders when constructing new roads.

### **Overlay District**

One way to assist in promoting additional development and expansion of health care related businesses and employment is to create an overlay zoning district. The purpose of an overlay district is to place additional regulations or incentives over the existing base zoning with the intention of protecting a resource or guiding development within a specific area. Also, it is advised that each city add a medical district classification to their respective Land Use Plans. The two health care target sites should be considered for designation of a zoning overlay district.

### **Incentives and Funding Opportunities**

Incentives and funding opportunities will be vital tools as the Simpson County Economic Development District, Simpson County, and the Cities of Magee and Mendenhall work to expand the health care industry in their communities.

The use of the Health Care Zone Incentives is the most direct incentive structure available. It is also recommended that the local governments offer administrative fee abatements for health care businesses as defined in the Mississippi Health Care Zone Act of 2012 without regard to level of investment, if they locate within the Health Care Zones. Fees for re-zoning, conditional use permits, variance requests, and building permits are a few examples of fees that may be abated at the discretion of the Mayor and Board of Aldermen or Simpson County Board of Supervisors.



## Marketing

Marketing Simpson County and the Simpson County Health Care Zones to the health care industry, and the general public, is the responsibility to the Simpson County Economic Development District staff, as well as the local governments and hospitals. A marketing strategy is presented in this Master Plan to provide these entities with a guide for promoting and recruiting businesses and providers in the health care industry to Simpson County.

A key component is to provide an ongoing “point of contact” for key target industries and providers. This point-of-contact should be the Economic Development District staff.

## Map Viewer

With this tablet compatible internet based GIS viewing tool, users are able to pick and choose which background map and data layer(s) they wish to view from a menu of available information. This new service will allow accessibility to numerous informational data layers including aerial imagery, topography, Health Care Zones, existing land use, the land use plan, zoning, Medical District Overlay Zones, recreational features/facilities, land ownership, and flood zones. A link to the viewer can be found on the Simpson County Economic Development District website at <http://gis.cmpdd.org/simpsonhealth>.



# Introduction

The Simpson County Economic Development District, with the support of the Cities of Magee and Mendenhall, and Simpson County, commissioned the Simpson County Health Care Zone Master Plan. The District recognized both the need for health care and the economic impact of the health care industry in Simpson County. As such, it desired a Master Plan that focused on health care to support the existing cluster and to serve as a guide for future decisions related to industry. The intent of this Master Plan is to provide the Simpson County Economic Development District and the local governments with a uniform plan for the growth, through retention and recruitment, of the health care industry in Simpson County.

While Simpson County has been known as the rural health care hub in central Mississippi for many years, it was never really thought of as an economic driver. Health care was seen as a service provided to residents of Simpson County and the surrounding rural areas. Even on the statewide level, access to health care was seen as a quality of life issue. However, just as was the case in Simpson County, health care was seen as a service industry, not as an independent industry. Very little attention was given to health care as an economic driver – or even as an industry to be recruited. In fact, the impacts of the health care industry on the local economy was not considered until 2011 when “Blueprint Mississippi” was released and a statewide focus on health care began. In 2012, “Blueprint Mississippi Healthcare: An Economic Driver” was released as an appendix to the original “Blueprint Mississippi” and began to quantify the economic impact of the health care industry in Mississippi. In summary, the report encouraged the growth of the health care industry through industry clustering and land use planning, incentives and funding, and addresses the regulatory environment.

Following the recommendations and implementation steps of “Blueprint Mississippi Healthcare,” Governor Phil Bryant introduced the Mississippi Health Care Industry Zone Act (HB 1537), and it was signed into law in May 2012. The Act continues the two-prong theme of increasing access to health care and increasing jobs in the health care industry by establishing an incentive program for qualifying businesses. A health care related business that creates 25 new jobs or invests \$10 million and locates in a Health Care Zone can receive business incentives from the State. Businesses that may qualify include medical service providers, medical supply, biologics, laboratory testing, medical product manufacturing and distribution, imaging, pharmaceutical production, and other similar industries. Specifically, businesses who qualify are eligible for an accelerated, 10-year state income tax depreciation deduction and a sales tax exemption for equipment and materials purchased for a new facility. Additionally, the legislation allows local governments to offer qualified businesses local incentives such as a property tax “fee-in-lieu” for 10 years or a 10-year ad valorem tax exemption.



TENNESSEE

**Tupelo**

55

78

6

ARKANSAS

55

LOUISIANA

**Jackson**

**Meridian**

20

20

ALABAMA

**Mendenhall**

**Magee**

49

59

**Simpson County**

49

**Hattiesburg**

55

**McComb**

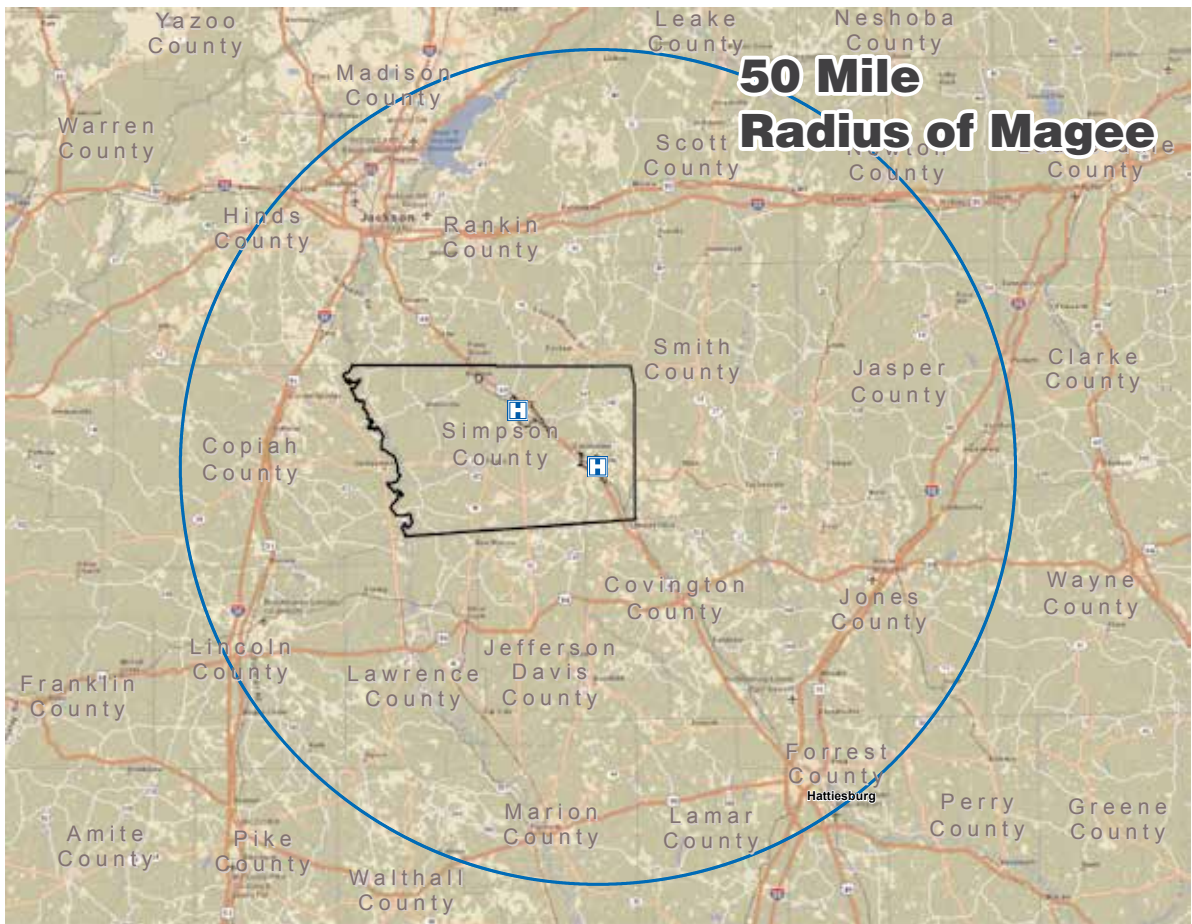
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A Health Care Zone was defined in the Mississippi Health Care Industry Zone Act as a 5 mile radius from a hospital that has a Certificate of Need for 375 Acute Care Beds or from a hospital that is located in an area where three contiguous counties have a combined Certificate of Need for 375 Acute Care Beds. In 2013, the legislation was supplemented by a memorandum from Governor Bryant's office to allow areas that did not meet this definition to establish a Health Care Zone by the adoption of a Health Care Zone Master Plan for the single purpose of developers receiving housing tax credits. In the case of Simpson County, there are two qualified Health Care Zones as a result of three contiguous counties having a combined Certificate of Need for 375 Acute Care Beds.

The Simpson County Economic Development District understands the importance of both eligible Health Care Zones working together to support and expand the health care industry in the County. Therefore, with the support of the Cities of Magee and Mendenhall and Simpson County, the Simpson County Health Care Zone Master Plan was commissioned by the Economic Development District. This Master Plan serves both eligible zones. The Master Plan provides a market study for both areas that identifies target industries, Target Site Master Plans around each hospital, suggested boundaries and language for zoning overlay districts, business incentives, and suggested marketing materials.



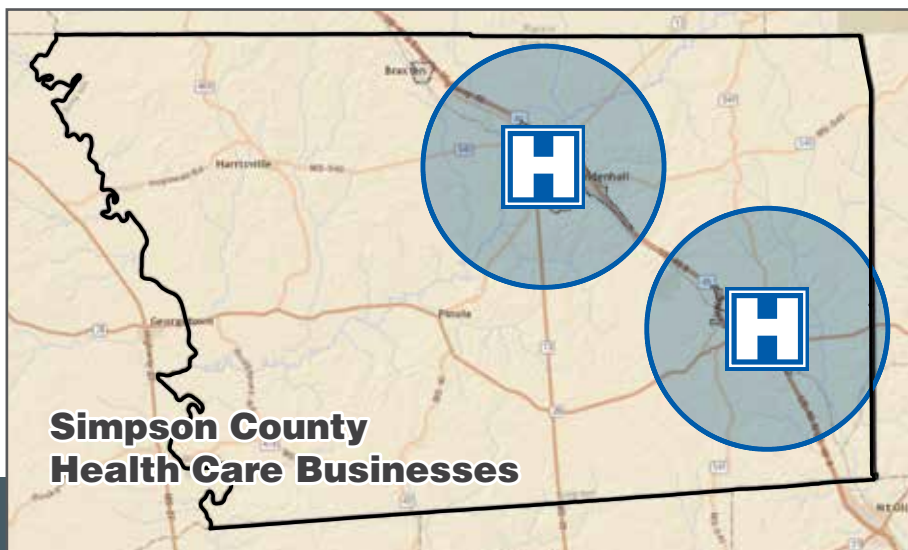
# Zone Identification

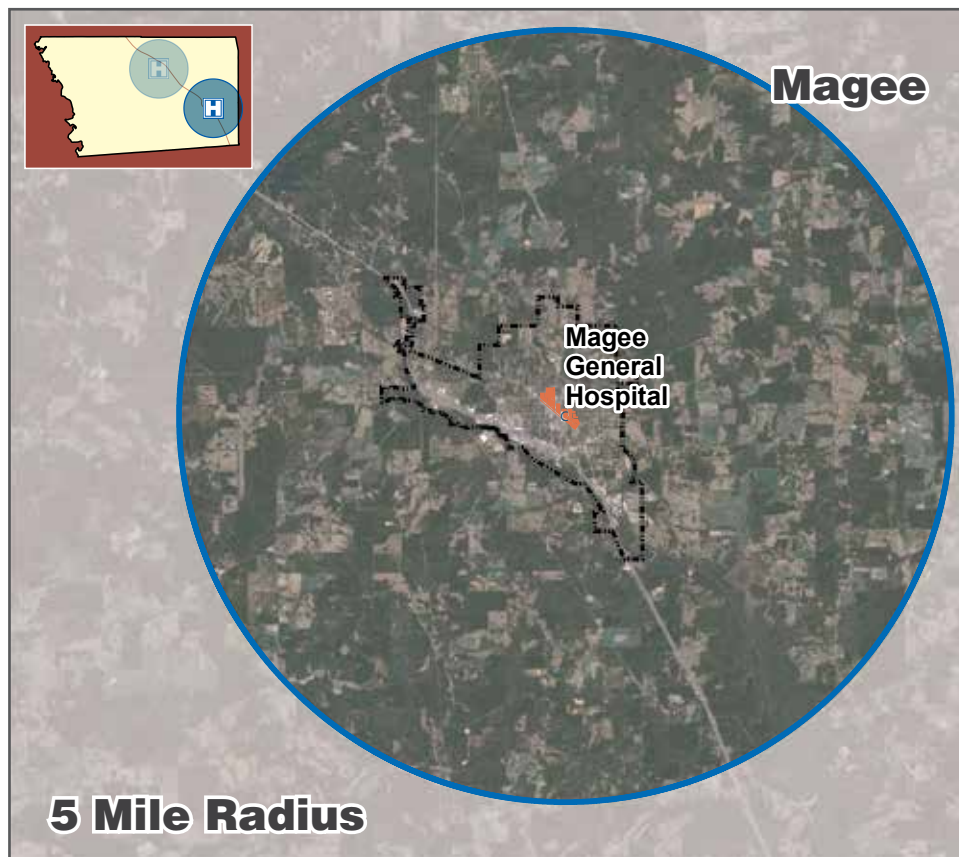
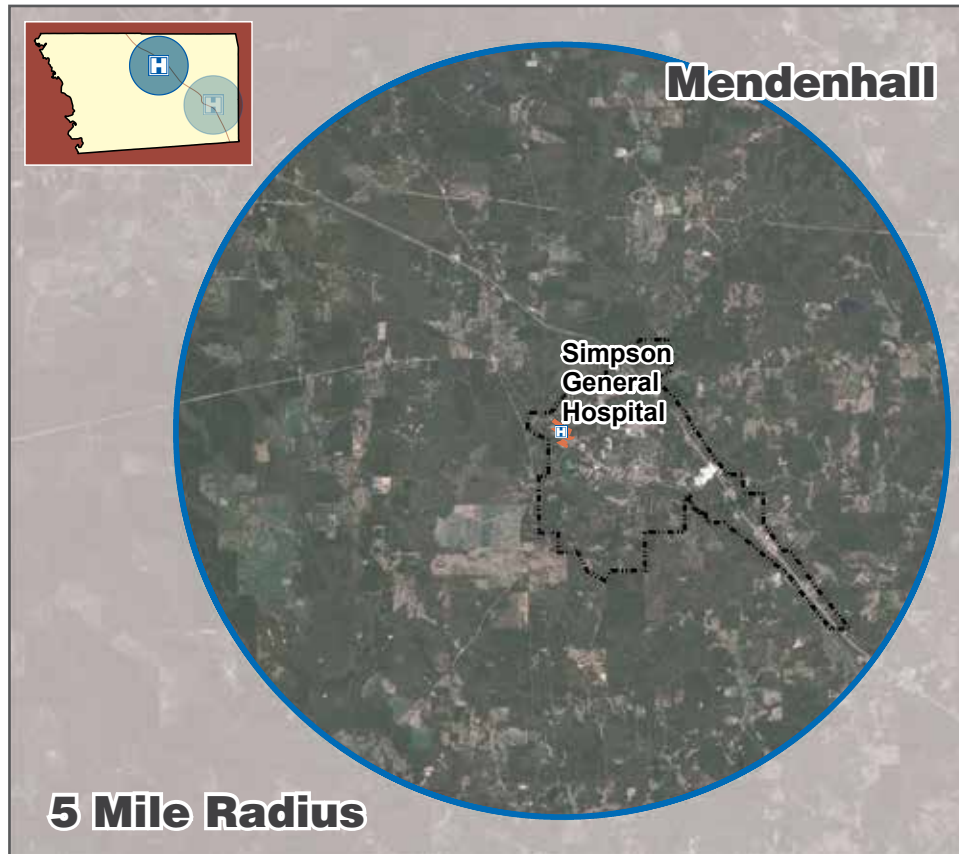
Simpson County is located approximately half-way between Jackson, Mississippi and Hattiesburg, Mississippi. The City of Mendenhall is 33 miles south of Jackson and the City of Magee is 47 miles north of Hattiesburg. Mendenhall and Magee are 10 miles apart. The major highway connecting Simpson County to these two urbanized areas is U.S. Highway 49. With the exception of Rankin County to the north, the counties adjacent to Simpson are rural and sparsely populated. However, the 50 mile radius around Magee is one of the most densely populated areas in the state containing approximately 28% of the states total population and has the greatest number of health care businesses.

The demographic analysis, which is included in greater detail in the Environmental Scan section of this Master Plan, shows the importance of Simpson County's geographic location within the state and the potential to locate additional health care business and industry in the county. While Simpson County itself is not heavily populated, the county is in an ideal location to serve a large amount of the state's population.

The two health care zones incorporate a five mile radius of each hospital (Magee General and Simpson General). The northern health care zone around Simpson General Hospital includes the City of Mendenhall and the Town of D'Lo along with portions of rural Simpson County. The 2010 population of Mendenhall and D'Lo was 2,510 and 452 respectively. The zone around Magee General Hospital includes the entire City of Magee which has a population of 4,408 and also surrounding portions of rural Simpson County. With the exception of scattered development along Highway 49, the majority of development is located within the cities of Magee and Mendenhall.

The target sites are narrowed to areas in closer proximity to the hospitals. Both areas are inside the incorporated cities of Magee and Mendenhall and development can be guided through existing and proposed zoning controls. These areas also benefit from existing infrastructure.





# Environmental Scan & Asset Mapping

The CMPDD conducted an analysis of the existing demographic data, a field survey of existing health care industries, and interviewed health care industry stakeholders to complete the environmental scan and asset mapping. The scan and mapping provided vital data that is used in the community and market demand section and economic impact sections, as well as in the development of land use and zoning recommendations.

## Simpson County Demographics

According to the 2010 Census, Simpson County had a population of just over 27,500 (Figure 1). It is expected to grow slowly in the coming years, adding about 200 persons by 2019. This projected growth rate (0.17% per year) is slower than the expected growth rates of Mississippi (0.40% per year) and the U.S. (0.75% per year).

Figure 1. Simpson County Demographic Summary

	2010	2014	2019
Population	27,503	27,488	27,722
Households	10,330	10,394	10,507
Families	7,313	7,292	7,325
Average Household Size	2.6	2.58	2.58
Owner Occupied Housing Units	7,947	7,886	7,986
Renter Occupied Housing Units	2,383	2,508	2,521
<b>Trends: 2014 - 2019 Annual Rate</b>			
	Simpson	State	National
Population	0.17%	0.40%	0.73%
Households	0.22%	0.46%	0.75%
Families	0.09%	0.32%	0.66%
Owner HHs	0.25%	0.48%	0.69%
Median Household Income	2.75%	3.11%	2.74%

Source: US Census Bureau, Esri Forecast.

According to the 2010 U.S. Census, the 50 mile radius around the City of Magee contains 824,707 persons or approximately 28% of the states total population of 2,967,297. This radius includes the City of Jackson and the City of Hattiesburg as well as significant portions of Rankin County. The 70 mile radius around Magee contains

1,135,992 which accounts for 38% of the state's population. This radius stretches to include portions of the Cities of Brookhaven, McComb, Meridian, and Vicksburg. With the exception of the Mississippi Gulf Coast counties, the 50 mile radius of Magee has the highest persons per square mile density than any other region within the state.

Almost half of all households in Simpson have a household income of less than \$35,000 (Figure 2). The median household income is \$35,891, about 5 percent lower than the statewide median income. This is expected to grow by 14.5% to \$41,101 by 2019. However, by 2019 Simpson County median income will be almost 7 percent below the statewide figure.

Figure 2. Simpson County Households by Income

Households by Income	2014				2019			
	Simpson County		Mississippi		Simpson County		Mississippi	
	Number	Percent	Number	Percent	Number	Percent	Number	Percent
<\$15,000	2,248	21.6%	234,703	20.5%	2,116	20.1%	221,684	19.0%
\$15,000 - \$24,999	1,539	14.8%	159,953	14.0%	1,158	11.0%	125,370	10.7%
\$25,000 - \$34,999	1,255	12.1%	133,932	11.7%	1,083	10.3%	118,083	10.1%
\$35,000 - \$49,999	1,825	17.6%	175,124	15.3%	1,815	17.3%	176,445	15.1%
\$50,000 - \$74,999	1,871	18.0%	201,751	17.7%	2,141	20.4%	232,379	19.9%
\$75,000 - \$99,999	884	8.5%	110,837	9.7%	1,120	10.7%	137,395	11.7%
\$100,000 - \$149,999	477	4.6%	74,929	6.6%	664	6.3%	93,566	8.0%
\$150,000 - \$199,999	126	1.2%	29,035	2.5%	165	1.6%	35,645	3.0%
\$200,000+	169	1.6%	22,781	2.0%	245	2.3%	29,003	2.5%
Median Household Income	\$35,891		\$37,802		\$41,101		\$44,063	
Average Household Income	\$48,242		\$53,563		\$54,638		\$59,088	
Per Capita Income	\$18,397		\$20,501		\$20,805		\$22,630	

Source: US Census Bureau, Esri Forecast.

Almost 63% of the Simpson County population was white in 2010 (Figure 3). This figure is expected to decline slowly in the coming years. The percentage of black citizens is expected to grow to about 36% by 2019. Although they represent a small portion of the total, Hispanics are expected to grow strongly in the coming years.

Figure 3. Simpson Race and Ethnicity

	2010		2014		2019	
	Number	Percent	Number	Percent	Number	Percent
White Alone	17,260	62.8%	16,998	61.8%	16,852	60.8%
Black Alone	9,666	35.1%	9,769	35.5%	9,961	35.9%
American Indian Alone	49	0.2%	49	0.2%	49	0.2%
Asian Alone	78	0.3%	122	0.4%	174	0.6%
Pacific Islander Alone	35	0.1%	35	0.1%	35	0.1%
Some Other Race Alone	191	0.7%	239	0.9%	303	1.1%
Two or More Races	224	0.8%	276	1.0%	348	1.3%
Hispanic Origin (Any Race)	387	1.4%	501	1.8%	642	2.3%

Source: US Census Bureau, Esri Forecast.



Levels of educational attainment are somewhat lower in Simpson County than in the rest of Mississippi (Figure 4). About 21% of the Simpson County population over the age of 25 has a college degree (Associate or higher), compared with about 28% statewide. Just over 22% have not earned a high school diploma or GED in Simpson County. Less than 19 percent of Mississippians over 25 do not have a high school diploma.

Figure 4. Educational Attainment, Population 25+

2014 Population 25+ by Educational Attainment		
	Simpson County	Mississippi
Total	18,203	1,974,151
Less than 9th Grade	7.3%	6.6%
9th - 12th Grade, No Diploma	14.8%	12.2%
High School Graduate	30.4%	24.5%
GED/Alternative Credential	5.5%	5.9%
Some College, No Degree	20.5%	22.6%
Associate Degree	6.9%	8.0%
Bachelor's Degree	9.7%	12.9%
Graduate/Professional Degree	4.9%	7.4%

Source: US Census Bureau.

Following national trends, the Simpson County population is growing older. The average age is expected to increase from 37.7 years in 2010 to 39.1 years in 2019 (Figure 5). The average age of Simpson County citizens is 1½ to 2 years older than the statewide average. The percentage of the population that is over 65 will grow from 14.0% in 2010 to 17.4% in 2019.

Figure 5. Simpson County Population by Age

	2010		2014		2019	
	Number	Percent	Number	Percent	Number	Percent
0 - 4	2,004	7.3%	1,895	6.9%	1,916	6.9%
5 - 9	2,034	7.4%	1,987	7.2%	1,901	6.9%
10 - 14	1,921	7.0%	1,973	7.2%	1,978	7.1%
15 - 19	2,030	7.4%	1,723	6.3%	1,822	6.6%
20 - 24	1,612	5.9%	1,707	6.2%	1,454	5.2%
25 - 34	3,240	11.8%	3,377	12.3%	3,374	12.2%
35 - 44	3,311	12.0%	3,272	11.9%	3,315	12.0%
45 - 54	3,985	14.5%	3,610	13.1%	3,333	12.0%
55 - 64	3,518	12.8%	3,736	13.6%	3,809	13.7%
65 - 74	2,167	7.9%	2,531	9.2%	3,003	10.8%
75 - 84	1,237	4.5%	1,224	4.5%	1,353	4.9%
85+	444	1.6%	453	1.6%	464	1.7%
Simpson Co Median Age		37.7		38.4		39.1
Mississippi Median Age		36.0		36.6		37.5

Source: US Census Bureau, Esri Forecast.

## Demographic Implications

Populations with lower incomes and lower levels of education can have increased health problems. According to the Centers for Disease Control and Prevention (CDC) 10.8% of the U.S. population has some form of heart disease. The rate increases to 13.2% for citizens in households with incomes of less than \$35,000. For persons with less than a high school diploma, the rate of heart disease is 13.6%. Age is the most significant factor: people between 65 and 74 years old have a heart disease rate of 24.4% and the rate is 36.9% for those over 75 years. Race does not have a significant impact on heart disease rates.

Other diseases have similar patterns. Poverty, low education levels, and advanced age tend to have significant negative influences on disease rates. Interestingly, these factors tend to have the opposite effect on cancer rates. Higher educated, wealthier people have higher than average rates of cancer incidence. Age still has the same effect: older people are much more likely to have some type of cancer.

These statistics suggest that Simpson County residents have higher rates of some types of disease than the rest of Mississippi. Simpson County residents have lower incomes, lower education levels, and are older on average than the state as a whole. These factors increase the risk of circulatory disease, respiratory illnesses, and other diseases such as diabetes, kidney disease, liver disease and even lower back pain.

## Existing Health Care Industry

A windshield survey of existing land uses within the Simpson County Health Care Zone boundaries was conducted in March 2014. The purpose of this survey was to identify any business that is related to the health care industry in operation within the zone. For each health care related business, data was collected on the name of business and type of business. The data for each business was linked through GIS mapping software to the coordinates for the parcels, which enabled the creation of several maps.

The survey identified 53 Health Care businesses that were operational in March 2014. These businesses include, but are not limited to two hospitals, three mental health facilities, seven physicians' offices, some of which house multiple physicians, eight pharmacies, and numerous medical suppliers, home health and hospice providers, physical therapy offices, and a hospital and medical clinic billing firm. During the analysis of the geographic data collected, areas around both hospitals were quickly identified as the "cluster center." Simpson County also has a satellite campus of Copiah-Lincoln Community College, which has several degrees and certification programs in the medical fields.





The health care related businesses in Simpson County employ over 2,200 people. The majority of these are small doctors' and dentists' offices, which have a workforce of less than 10 each. There are about six mid-sized establishments, including the Region 8 Mental Health Services, which employ 12 to 75 people each. Pioneer Health Services, Magee General Hospital, and Simpson General Hospital combined employ almost 500 personnel. The top two healthcare firms, Boswell Regional Center and Millcreek Management Inc., retain a workforce of 600 each. Figure 6 lists large healthcare related businesses in Simpson County.

The employment at Pioneer Health Services may not be included in the health care categories described above. Pioneer is a hospital and clinic billing company. This type of company would be classified as office administrative services.

Figure 6. Simpson County Largest Healthcare Related Employers

Business Name	Type Of Service	Employees
Boswell Regional Center	Intellectual/Developmental Disabilities, Nursing, Residential Care	600
Millcreek Management Inc	Rehabilitation Services, Residential Care	600
Magee General Hospital	General Hospital	230
Simpson General Hospital	General Hospital	130
Pioneer Health Services	Healthcare Operations and Management	117
Region 8 Mental Health Services	Mental Health, Intellectual/Developmental Disabilities, Alcohol/Drug Services	75
Medical & Surgical Clinic	Full Service Clinic - Lab, Pharmacy, Doctor Offices, Out Patient Surgery	25
Simpson County Human Resource Agency	Social Services	21
Gene Polk's, Inc	Pharmacy	14

This collection of data also revealed that, as a rural county, Simpson County serves as a regional hub for primary, or basic, health care. According to both hospitals, their patient population encompasses Copiah, Covington, Jefferson Davis, Lawrence, and Smith Counties, in addition to Simpson County. These are very rural counties with very limited access to health care. In fact, Simpson County has the lowest persons per physician ratio in the region at one physician per 1,145 people. Smith County has the highest ratio at one physician per 8,517 people. Nineteen of the 24 physicians reporting their practice location as Simpson County are primary care or emergency medicine providers rather than specialists. It is important to note that both hospitals have contracted with physicians who have a part-time clinic in Simpson County. Given this data, it is reasonable to assume



that Simpson County serves as the primary and emergency care location for this rural region, but the majority of the population travels to Hattiesburg or Jackson for specialty care.

Furthermore, it is vital to note that the 50 mile radius from the City of Magee contains approximately 3,600 health care businesses according to Dun and Bradstreet data. This is the highest concentration of health care businesses in the state. In fact, the Magee radius has approximately 600 more health care businesses than a 50 mile radius centered in the City of Jackson.

## Interviews

With the assistance of the Simpson County Economic Development District and local elected officials, a group of key stakeholders was identified. The stakeholders were identified by their interest in the health care sector or supporting role to the sector. A total of twelve stakeholders were interviewed. It is firmly held that the Health Care Zone Master Plan should address the needs and concerns of the existing health care businesses within the Zone, as well as opportunities for the future. Furthermore, it is the intent of this Strategy to retain and expand the current businesses within the Zone. Thus, the input of the community was sought throughout the process.

During these meetings, a standardized list of questions was used to gather input market demand, potential opportunities for growth, weaknesses and barriers to be addressed, and desires for the future of the County. The standardized list is also included in Appendix A. The purpose of these meetings was to ensure that the Master Plan addressed the needs, concerns, and desires for the existing businesses, as well as provided the planners with a better feel for the community.

In summary, the stakeholders noted that the greatest assets within the Simpson County Health Care Zone is transportation access and its existing health care industry. No one type of business was singled out as being the most successful; however, several stakeholders mentioned the success of both hospitals, numerous pharmacies, and medical equipment supply businesses. All expressed the need for and likely success of non-emergency medical transport, specialty health care providers, and additional assisted living/nursing home facilities. The strong relationship between Copiah-Lincoln Community College and the existing health care related businesses was noted as a vital asset to the community. The willingness to partner for the common goal of a workforce trained for the needs of local employers is very beneficial. The shared vision for the future amongst the business community involved expanding the current diversity of businesses and enhancing the downtown areas of both Magee and Mendenhall to attract even more service providers and health care industries.

Several specific improvements were noted during these meetings with stakeholders

including, marketing of the county to patients and providers, the local education system, and the lack of non-emergency medical transportation. It is believed that if these improvements are made or addressed the businesses are more likely to locate within the Zones. Several stakeholders mentioned the challenges to recruiting physicians to the area. It was suggested that direct marketing of the quality health care facilities, availability of large tracts of land, and a vibrant downtown may help overcome these challenges. On a related note it was suggested that a unique attraction, such as a restaurant, within a downtown area would be an asset. The local education system, excluding the post-secondary facilities, were noted as needing improvements. Finally, many stakeholders noted that many residents of Simpson County and the surrounding counties struggle to find transportation for medical appointments. Public transportation is not available in this area due to its rural nature. Therefore, a transportation provider that transported patients to local and non-local appointments is needed.

As a result of the Environmental Scan and Asset Mapping, the Master Plan provides recommendations to grow the health care industry in Simpson County.

## CASE STUDY: TOWN OF PELAHATCHIE

The Town of Pelahatchie is located north of Simpson County, in Rankin County. The Town has invested in its downtown area to encourage new businesses and support its existing businesses.

The Town, using local cash, in kind contributions, grants, and loans, has been successful in upgrading the Police Station, Community Center, Library, City Hall, Fire Department, streetscaping, adding a splash pad, large water fountain feature, trash receptacles, benches, decorative lighting, and installing and providing Wi-Fi accessibility. A “flip this town” kind of project!

As a result of the Town’s investment in downtown, existing businesses took note and began making improvements to their properties. In many cases, the businesses made improvements as simple as repainting their façade and replacing a dated awning. The look of downtown was completely transformed.

These improvements to the Town will also aid in attracting new businesses and industries to the area; thus, promoting economic development growth and creating more jobs for the citizens.



# Market Demand & Economic Impact

## Health Care Sector Profile

Health care is an important part of the Simpson County economy. Over 40 percent of total employment is in the Health Care and Social Assistance sector (Figure 7). The Location Quotient (LQ) of the health care sector is 2.20, meaning Simpson County employment in this sector is more than twice as concentrated as the Mississippi statewide average.

Figure 7. Simpson County 2012 Employment by Sector

NAICS	NAICS Description	Employment	LQ
	<b>Total for all sectors</b>	5,811	1.00
23	Construction	135	0.51
31	Manufacturing	380	0.42
44	Retail Trade	1,039	1.17
52	Finance and Insurance	508	2.34
54	Professional, Scientific, and Technical Services	117	0.59
62	Health Care and Social Assistance	2,327	2.20
72	Accommodation and Food Services	572	0.76
81	Other Services (except Public Administration)	265	1.06

Source: US Census Bureau, *County Business Patterns 2012*.

Just to the south in the Hattiesburg region, the health care sector has an LQ of 1.3 (Figure 8). To the north, the health care sector in the Jackson region has an LQ of 1.24. This indicates that the health care sector in these regions has employment levels about 25 to 30% above statewide average. This is typical for more urban areas because specialized medical services tend to locate in urban areas.

Even though it is less urbanized, the health care industry is a more important part of the economy in Simpson County than it is in adjacent metro areas. Health care is an important driver of the Simpson County economy, attracting dollars from consumers that live outside of the county.



Figure 8. Hattiesburg Region 2012 Employment by Sector

NAICS	NAICS Description	Employment	LQ
	<b>Total for all sectors</b>	<b>47,248</b>	<b>1.00</b>
23----	Construction	2,165	1.00
31----	Manufacturing	3,561	0.48
42----	Wholesale Trade	1,445	0.78
44----	Retail Trade	9,037	1.25
48----	Transportation and Warehousing	1,071	0.61
51----	Information	610	0.89
52----	Finance and Insurance	1,694	0.96
53----	Real Estate and Rental and Leasing	589	1.11
54----	Professional, Scientific, and Technical Services	1,753	1.10
56----	Admin, Support, Waste Mgmt and Remediation	2,412	0.94
61----	Educational Services	998	1.05
62----	Health Care and Social Assistance	11,201	1.30
71----	Arts, Entertainment, and Recreation	553	1.19
72----	Accommodation and Food Services	6,721	1.10
81----	Other Services (except Public Admin)	2,043	1.00

Source: US Census Bureau, County Business Patterns 2012.

Figure 9. Jackson Region 2012 Employment by Sector

NAICS	NAICS Description	Employment	LQ
	<b>Total for all sectors</b>	<b>192,042</b>	<b>1.00</b>
23----	Construction	9,288	1.06
31----	Manufacturing	13,627	0.45
42----	Wholesale Trade	10,042	1.33
44----	Retail Trade	26,255	0.89
48----	Transportation and Warehousing	6,793	0.94
51----	Information	5,304	1.90
52----	Finance and Insurance	10,569	1.47
53----	Real Estate and Rental and Leasing	3,169	1.47
54----	Professional, Scientific, and Technical Services	9,898	1.52
55----	Management of Companies and Enterprises	2,943	1.76
56----	Admin, Support, Waste Mgmt and Remediation	10,356	0.99
61----	Educational Services	6,677	1.73
62----	Health Care and Social Assistance	43,285	1.24
71----	Arts, Entertainment, and Recreation	2,128	1.13
72----	Accommodation and Food Services	19,477	0.78
81----	Other Services (except Public Administration)	9,869	1.19

Source: US Census Bureau, County Business Patterns 2012.

More detailed sectorial data for the health care sector reveals the drivers of the strength of the sector in Simpson County (Figure 10). According to Census data, firms in the Nursing and Residential Care sector (NAICS 623) employ over 900 in the county. The LQ for this industry is almost 6, indicating that employment is almost 6 times more concentrated than the statewide average. Other than for Physicians Offices, employment concentrations are high across the various health care sectors. The low LQ in the county for Physicians Offices may indicate that the Simpson County residents are traveling to adjacent areas for their more specialized health care, but may remain locally for basic health care.

Figure 10. Simpson County 2012 Health Care Sector Employment

NAICS	NAICS Description	Employment	LQ
	<b>Total for all sectors</b>	<b>5,811</b>	<b>1.00</b>
62	Health Care and Social Assistance	2,327	2.20
621	Ambulatory Health Care Services	521	1.73
621111	Offices of Physicians (except Mental Health Specialists)	54	0.43
622	Hospitals	674	1.43
622110	General Medical and Surgical Hospitals	674	1.56
623	Nursing and Residential Care Facilities	909	5.92
623110	Nursing Care Facilities (Skilled Nursing Facilities)	193	1.62
624	Social Assistance	223	1.70
6244	Child Day Care Services	102	1.65

Source: US Census Bureau, County Business Patterns 2012.

Health care sector employment for Hattiesburg and Jackson is presented in Figures 11 and 12. The high LQs for Offices of Physicians in both Hattiesburg (2.60) and Jackson (1.20) indicate that people are driving into these areas for health care. Based on the concentration of specialist providers in Hattiesburg and Jackson and primary care providers in Simpson County, it is possible that Simpson County residents are traveling out of the county to visit specialty physicians.

The LQs for Nursing and Residential Care Facilities in both Hattiesburg and Jackson are relatively low. These numbers combined with the high level of employment in Simpson County suggests that Simpson County may have an advantage in this sector.





Figure 11. Hattiesburg Region 2012 Health Care Sector Employment.

NAICS	NAICS Description	Employment	LQ
-----	<b>Total for all sectors</b>	<b>47,248</b>	<b>1.00</b>
62----	Health Care and Social Assistance	11,201	1.30
621	Ambulatory Health Care Services	4,476	1.83
6211	Offices of Physicians	2,654	2.60
6212	Offices of Dentists	446	1.52
6213	Offices of All Other Health Practitioners	198	0.72
62131	Offices of Chiropractors	35	1.54
6214	Outpatient Care Centers	393	1.28
623	Nursing and Residential Care Facilities	962	0.77
624	Social Assistance	1,065	1.00
6241	Individual and Family Services	284	0.73
62412	Services for the Elderly and Persons with Disabilities	194	0.82
6244	Child Day Care Services	656	1.31

Source: US Census Bureau, County Business Patterns 2012.

Figure 12. Jackson Region 2012 Health Care Sector Employment.

NAICS	NAICS Description	Employment	LQ
	<b>Total for all sectors</b>	<b>192,042</b>	<b>1.00</b>
62----	Health Care and Social Assistance	43,285	1.24
621	Ambulatory Health Care Services	11,492	1.16
6211	Offices of Physicians	4,964	1.20
6212	Offices of Dentists	1,169	0.98
62139	Offices of All Other Health Practitioners	213	1.36
62149	Other Outpatient Care Centers	958	0.99
6216	Home Health Care Services	2,184	1.32
623	Nursing and Residential Care Facilities	4,095	0.81
6231	Nursing Care Facilities (Skilled Nursing Facilities)	2,720	0.69
624	Social Assistance	4,735	1.09
6241	Individual and Family Services	1,790	1.14
62412	Services for the Elderly and Persons with Disabilities	550	0.57
6244	Child Day Care Services	2,320	1.14

Source: US Census Bureau, County Business Patterns 2012.

## Shift Share Analysis

Shift share analysis provides deeper insight into the factors contributing to sectorial employment changes over time. Shift share analysis decomposes regional growth into three components :

- National Share (NS): change attributable to overall national trends
- Industrial Mix (IM): change attributable to the industrial composition of the region
- Regional Shift (RS): change attributable to regional competitiveness

Shift share analysis is calculated as follows:

- $e_i$  = employment in sector  $i$
- $G$  = overall national growth rate
- $G_i$  = national growth rate in sector  $i$
- $g_i$  = regional growth rate in sector  $i$

Figure 13 displays the results of the shift share analysis for Simpson County using employment change between 2008 and 2012. Employment in all sectors fell by 72 jobs during this period.

The national share (NS) for each sector simply equals the 2008 employment in that sector times the national growth rate. National employment fell during this period by about 4.1 percent. For health care and social assistance, the 2008 employment level was 2,111 jobs. Multiplying this by the national decline rate yields a loss of 87 jobs. If the health care and social assistance sector contracted at the same rate as the overall national economy, it would have lost 87 jobs over this period.

The Industry Mix (IM) for each sector equals the 2008 employment level times the difference between the national sectorial growth rate and the overall national growth rate. The national health care and social assistance sector grew by about 6.7 percent between 2008 and 2012. The difference between the health care growth rate and the overall growth rate equates to about a 10.8 percent increase ( $6.7 - (-4.1) = 10.8$ ). 2008 employment of 2,111 multiplied by 10.8 percent equals an increase of 229 jobs. This is the increase in regional employment that is attributed to the national strength in the health care and social assistance sector.



The Regional Shift (RS) component equals the 2008 employment level times the difference in regional and national growth rates in each sector. Health care and social assistance grew by about 10.2 percent in Simpson County. Subtracting this from the national growth of 6.7 percent yields 3.5 percent. The 2008 employment level of 2,111 jobs multiplied by 3.5 percent equals an increase of 74 jobs. This is the growth in health care and social assistance employment attributable to local regional competitiveness.

Figure 13. Simpson County Employment Shift Share Analysis, 2008 – 2012

NAICS	NAICS Description	NS	IM	RS	Total Change
	<b>Total for all sectors</b>	<b>-225</b>	<b>117</b>	<b>37</b>	<b>-72</b>
23	Construction	-13	-69	-107	-189
31	Manufacturing	-20	-50	-27	-96
44	Retail trade	-44	-11	24	-31
48	Transportation and warehousing	-2	0	16	13
52	Finance and insurance	-17	-17	120	85
54	Professional, scientific, and technical services	-7	6	-42	-42
62	Health care and social assistance	-87	229	74	216
72	Accommodation and food services	-24	27	-22	-19
81	Other services (except public administration)	-11	1	1	-9

Source: US Census Bureau, County Business Patterns 2008 & 2012.



### Occupational Projections

Some occupations are expected to grow significantly in the Copiah-Lincoln Community College district, which includes Simpson County (Figure 14). Registered nurses, licensed practical and vocational nurses, and nursing aides are expected to combine to have over 100 job openings each year through 2020. Various health technology occupations are also expected to add significant numbers of jobs.

Figure 14. Occupation Projections, Copiah-Lincoln Community College District

Standard Occupational Classification (SOC)		2010 Employment	2020 Projected Employment	Total Projected Avg Annual Job Openings
Code	Occupation			
29-0000	Healthcare Practitioners and Technical Occs	3,400	3,990	130
29-1000	Health Diagnosing and Treating Practitioners	1,880	2,250	75
29-1111	Registered Nurses	1,260	1,520	50
29-1123	Physical Therapists	100	140	5
29-1126	Respiratory Therapists	70	90	5
29-2000	Health Technologists and Technicians	1,520	1,730	55
29-2021	Dental Hygienists	80	100	5
29-2037	Radiologic Technologists and Technicians	80	100	5
29-2041	Emergency Medical Techs and Paramedics	140	180	5
29-2056	Veterinary Technologists and Technicians	50	70	5
29-2061	Licensed Practical and Vocational Nurses	690	770	25
29-2071	Med Records and Health Information Techs	160	180	5
31-0000	Healthcare Support Occupations	3,340	3,950	105
31-1000	Nursing, Psychiatric, and Home Health Aides	2,970	3,530	95
31-1011	Home Health Aides	360	540	25
31-1012	Nursing Aides, Orderlies, and Attendants	1,430	1,610	35
31-1013	Psychiatric Aides	1,180	1,380	35
31-9000	Other Healthcare Support Occupations	340	370	10
31-9091	Dental Assistants	110	120	5
31-9092	Medical Assistants	120	140	5

### Health Care Cluster Analysis

Linkages between industry sectors can be investigated using data from input-output models. IMPLAN produces input-output data for every county in the U.S. Backward linkages (linkages to industries supplying inputs) can be identified through the industry balance sheet in IMPLAN. The industry balance sheet identifies intermediate inputs into the production process of a given industry.

Figure 15 shows the health care industry balance sheet for Simpson County. For this analysis, the health care industry is defined by combining five industries (as defined by IMPLAN): (1) offices of physicians, dentists and other health care practitioners; (2) home health services; (3) medical and diagnostics labs and other ambulatory care services; (4) nursing and residential care facilities; and (5) private hospitals. Simpson County health care firms purchase about \$72.7 million in inputs annually (this does not include labor). The values in the Gross Inputs column represent estimates of inputs from various sectors based on national averages.



Two of the top five inputs come from industries within the health care sector. Firms in the health care sector purchase about 8.1 percent of their inputs from the pharmaceutical preparations sector. Medical and diagnostics labs and other ambulatory care services are also a major component of the inputs to firms in the health care sector.

While firms in these sectors are both major suppliers to the health care industry, there is an important difference between them in Simpson County. The second column of data indicates the Regional Purchase Coefficient (RPC) for each input. The RPC is an estimate of the percentage of input that is purchased from within the region. According to the model, pharmaceutical preparations purchases by Simpson County health care industry firms are imported almost exclusively from outside of the county (RPC = 0). By contrast, almost two-thirds (RPC = .65) of medical and diagnostics labs and other ambulatory care services are purchased from firms inside Simpson County. The Imports column indicates the purchases of inputs being shipped in from outside the region.

Figure 15. Backward Linkages: Simpson County Health Care Industry Balance Sheet

	Gross Inputs	RPC	Regional Inputs	Imports
<b>Total Commodity Demand</b>	<b>\$72,650,122</b>	<b>0.21</b>	<b>\$15,205,418</b>	<b>\$57,444,704</b>
Real estate buying and selling, leasing, managing, and related services	\$10,603,595	0.08	\$867,961	\$9,735,634
Pharmaceutical preparations	\$5,892,536	-	\$0	\$5,892,536
Insurance	\$4,084,502	0.01	\$33,531	\$4,050,971
Employment services	\$3,402,092	-	\$0	\$3,402,092
Medical and diagnostic labs and outpatient and other ambulatory care services	\$3,071,870	0.65	\$1,992,254	\$1,079,615
Management of companies and enterprises	\$2,871,893	0.27	\$777,224	\$2,094,670
Management, scientific, and technical consulting services	\$2,472,822	0.05	\$118,346	\$2,354,476
Wholesale trade distribution services	\$2,447,866	0.23	\$573,971	\$1,873,894
Electricity and distribution services	\$1,921,229	0.04	\$77,455	\$1,843,774
In-vitro diagnostic substances	\$1,893,053	-	\$0	\$1,893,053
Securities, commodity contracts, investments, and related services	\$1,631,845	0.27	\$434,126	\$1,197,719
Telecommunications	\$1,616,547	0.36	\$578,755	\$1,037,792
Restaurant, bar, and drinking place services	\$1,562,176	0.76	\$1,188,213	\$373,963
Accounting, tax preparation, bookkeeping, and payroll services	\$1,488,155	0.38	\$563,510	\$924,645
Monetary authorities and depository credit intermediation services	\$1,453,605	1.00	\$1,446,679	\$6,926
Processed animal (except poultry) meat and rendered byproducts	\$1,217,705	0.06	\$76,518	\$1,141,187
Services to buildings and dwellings	\$1,203,627	0.13	\$162,416	\$1,041,211
Legal services	\$1,038,654	0.36	\$370,460	\$668,194
Office administrative services	\$1,036,744	1.00	\$1,034,457	\$2,287
Advertising and related services	\$1,019,037	0.09	\$93,546	\$925,491

Source: IMPLAN 2012 Data.

Forward linkages are those to industries that purchase the output of firms. These can be identified through the IMPLAN commodity balance sheet. The commodity balance sheet identifies where an industry's production is sold. For the most part, health care industries sell their production to final consumers. The exception to that is medical and diagnostic labs and outpatient and other ambulatory care services (IMPLAN sector 396). Purchases of goods and services produced by this sector in Simpson County total \$17.5 million. Of that amount, \$3.1 million (18%) is purchased by other businesses. By contrast, over 99.9% of the output of the remaining health care sectors (offices of physicians, dentists and other health practitioners; home health services; nursing and residential care facilities; private hospitals) are purchased by final consumers rather than other businesses.

Almost 69 percent of the \$3.1 million in output of the Simpson County Health Care sector sold to other businesses is sold to private hospitals (Figure 16). Since the output of the industry is relatively homogeneous, the RPCs for forward linkages are the same for all sectors. About 65 percent of the output (\$2.1 million) in the sector is sold to firms in the county. The remainder is sold to firms outside of Simpson County.

Figure 16. Forward Linkages: Simpson County Medical and Diagnostic Labs and Outpatient and Other Ambulatory Care Services Commodity Balance Sheet

	Gross Sales	RPC	Regional Sales	Percent
<b>Total Industry Demand</b>	<b>\$3,109,353</b>	<b>NA</b>	<b>\$2,016,564</b>	
Private hospitals	\$2,137,782	64.9%	\$1,386,454	68.8%
Offices of physicians, dentists, and other health care practitioners	\$655,888	64.9%	\$425,374	21.1%
Medical and diagnostic labs and outpatient and other ambulatory care services	\$265,466	64.9%	\$172,168	8.5%
Grantmaking, giving, and social advocacy organizations	\$17,414	64.9%	\$11,294	0.6%
Veterinary services	\$13,999	64.9%	\$9,079	0.5%
Nursing and residential care facilities	\$12,734	64.9%	\$8,258	0.4%
Other support services	\$5,428	64.9%	\$3,520	0.2%
Civic, social, professional, and similar organizations	\$585	64.9%	\$379	0.0%
Amusement parks, arcades, and gambling industries	\$57	64.9%	\$37	0.0%

Source: IMPLAN 2012 Data.

Intermediate inputs (purchases from other firms) are only a portion of the impact that a firm has on a regional economy. The more important impact (for most industry sectors) comes from 'value added.' Value added is the difference between the value of intermediate inputs and the value of the output of a firm. It primarily consists of employee compensation, but also includes proprietor income (profits) and



taxes. Essentially, it represents the various types of income that result from an industry.

Figure 17 displays value added for health care sectors in Simpson County. For doctors' offices, employee compensation comprises almost 47 percent of the total output for this sector. Other income (proprietor and property) add another 7 percent. Other property type income adds one percent. This means that for every \$1 million increase in sales in this sector, an additional \$440,000 in income is added in the region.



Home health services and medical and diagnostic labs and outpatient and other ambulatory care services have the highest levels of value added (about 75 percent) among the various health care sectors. This means that increases in output in these sectors produce more local income than the others. Almost 60 percent of industry sales in home health care services flows directly to employee salaries.

Figure 17. Simpson County Health Care Sectors Value Added

		Total Production	Total Value Added	Employee Compensation	Proprietor Income	Other Property Type Income
Offices of physicians, dentists, and other health care practitioners	Value Added	\$27,657,551	\$15,467,500	\$12,929,816	\$1,971,458	\$266,135
	Pct of Total		55.9%	46.7%	7.1%	1.0%
Home health care services	Value Added	\$14,546,120	\$10,827,028	\$8,682,798	\$1,115,426	\$908,122
	Pct of Total		74.4%	59.7%	7.7%	6.2%
Medical and diagnostic labs and outpatient and other ambulatory care services	Value Added	\$8,291,415	\$6,312,556	\$3,526,117	\$496,271	\$2,235,713
	Pct of Total		76.1%	42.5%	6.0%	27.0%
Private hospitals	Value Added	\$57,038,167	\$24,055,028	\$20,580,595	-\$212,030	\$2,969,825
	Pct of Total		42.2%	36.1%	-0.4%	5.2%
Nursing and residential care facilities	Value Added	\$57,306,600	\$35,527,616	\$29,236,177	\$213,204	\$3,596,632
	Pct of Total		62.0%	51.0%	0.4%	6.3%

## Opportunities and Economic Impact

A number of opportunities for growing the healthcare sector in Simpson County were identified. These opportunities emerged from a combination of data analysis and interviews with local healthcare leaders. Simpson County's location between Jackson and Hattiesburg and the high concentration of health care businesses in these areas allows it to become a hub for health care support or shared services that serve the larger, urban areas as well. These opportunities include a need for more medical service providers, medical administration services, non-emergency transportation, and laundry services.



### *Medical Service Providers*

There appears to be a shortage of physician's offices because of the low concentration of employment in this sector and the increased risk of disease based on demographics in the county. There is an opportunity to increase the number of physicians and support staff based on this imbalance. To bring employment levels up to a level that matches statewide averages, an additional 70 jobs need to be added in the county.

Adding 70 jobs in the physician's office sector would create a significant economic impact (Figure 18). Include the multiplier effect and there would be an additional 94 jobs in Simpson County. These jobs would have a total payroll of almost \$4.4 million. A total of about \$5.2 million would be added to the Simpson County economy.

Figure 18. Economic Impacts of Increased Physician's Offices

	Employment	Labor Income	Value Added (GDP)
Direct Effect	70	\$3,582,772	\$3,726,490
Indirect Effect	24	\$769,986	\$1,510,445
Total Effect	94	\$4,352,758	\$5,236,935

### *Medical Administration Services*

Just as weaknesses such as physician shortages can lead to economic development opportunities, strengths can provide opportunities as well. Pioneer Health Services is a prominent hospital and clinic billing and management firm with a significant operation in Magee. This type of firm is an example of 'basic' economic activity. They provide services to customers outside of Simpson County and bring dollars into the county, adding to the economic base.



Building on the strengths in Simpson County that have allowed Pioneer to be successful could add jobs in the office administrative services sector. Adding 100 jobs in this sector would add a total of 136 jobs in the county, including the multiplier effects (Figure 19). These jobs would have an associated payroll of \$5.6 million.

Figure 19. Economic Impacts of Increased Medical Administration Services

	Employment	Labor Income	Value Added (GDP)
Direct Effect	100	\$4,535,171	\$3,949,266
Indirect Effect	36	\$1,081,053	\$2,144,265
Total Effect	136	\$5,616,224	\$6,093,532

### *Non-emergency transportation*

Interviews with local healthcare leaders revealed that there is a shortage of non-emergency passenger transportation. Companies in this sector are included in NAICS sector 48599 comprising establishments primarily engaged in providing special needs transportation to the infirm, elderly, or handicapped. These establishments may use specially equipped vehicles to provide passenger transportation. IMPLAN data estimates that about 80 percent of the utilization of these services in Simpson County is purchased from firms outside of the county.

Import substitution (local production of a product currently being imported) is also a basic economic activity, adding jobs to the local economy. Adding 100 jobs in ground transportation services would create a total of about 122 jobs in Simpson County (Figure 20). Total labor income associated with these jobs would approach \$5.1 million.

Figure 20. Economic Impacts of Increased Ground Passenger Transportation

	Employment	Labor Income	Value Added (GDP)
Direct Effect	100	\$4,407,327	\$4,554,664
Indirect Effect	22	\$679,469	\$1,370,542
Total Effect	122	\$5,086,796	\$5,925,205

Non-emergency transportation companies that located in Simpson County could serve both the rural and urban areas surrounding the county. The existing transportation network, including U.S. Highway 49, which is a four-lane road that leads to Hattiesburg and Jackson, converges in Simpson County. The central location would make it feasible to transport users from the rural areas surrounding Simpson County into the county for basic health care. It would also allow for transport to Jackson and Hattiesburg for more specialized care.



### Laundry Services

Local healthcare leaders also indicated that they are using laundry services provided by companies located more than 150 miles away. The IMPLAN commodity balance sheet estimates that 60 percent of Simpson County inputs in this sector are purchased from outside of the county. This points to an opportunity for increased production of these services within the county. Further, the significant size of the user market, specifically health care businesses, within a 50 mile radius around the City of Magee makes a location in Simpson County extremely attractive.

As with transportation services, import substitution would add jobs to the local economy. Adding 100 jobs in laundry services would result in a total of 112 jobs in the county (Figure 21). These jobs would have payrolls totaling almost \$2.8 million.

Figure 21. Economic Impacts of Increased Laundry Services

	Employment	Labor Income	Value Added (GDP)
Direct Effect	100	\$2,385,894	\$2,274,498
Indirect Effect	12	\$372,567	\$760,707
Total Effect	112	\$2,758,461	\$3,035,205

### Other Target Industries

Through HB 1537, Mississippi has identified a number of target industries. These include manufacturing (pharmaceuticals, medical supplies, and medical equipment), services (diagnostic imaging and medical service providers), and distribution (medical products and supplies). Statewide employment numbers for these industries are quite small – each sector has about 0.1 percent of total statewide employment. They also have low concentrations relative to the rest of the United States. As shown in Figure 22, the highest location quotient is for distribution (medical equipment wholesalers), which has an industry concentration about 32 percent lower than the average for the U.S.

Figure 22. Mississippi 2012 Health Care Target Industries Employment

NAICS	NAICS Description	Employment	LQ
<b>Total for all sectors</b>		<b>855,652</b>	<b>1</b>
3254	Pharmaceutical and medicine mfg	932	0.44
33451	Electromedical apparatus mfg	NC	
3391	Medical equipment and supplies mfg	753	0.33
42345	Medical equipment merchant wholesalers	975	0.68
6215	Medical and diagnostic laboratories	949	0.51
(NC: Not Calculable, the data does not exist or it is zero)			

Source: Bureau of Labor Statistics, Quarterly Census of Employment and Wages.



Low industry concentrations can indicate a business development or recruitment opportunity. Local health care firms are importing the goods and services produced in these sectors from other states. Because the statewide presence of these industries is low, there may be opportunities for firms in Simpson County to serve not only the local market but also other regions of Mississippi.

Firms in the sectors included in Mississippi’s list of targeted industries each have different impacts on the local economy. Medical wholesaling firms have an employment multiplier of 1.43: increasing jobs in this sector by 100 create a total of 143 jobs in the county (Figure 23). These jobs would have a total of almost \$6 million.

Figure 23. Economic Impacts of Increased Medical Wholesalers

	Employment	Labor Income	Value Added (GDP)
Direct Effect	100	\$4,520,239	\$10,396,661
Indirect Effect	43	\$1,415,301	\$2,677,490
Total Effect	143	\$5,935,539	\$13,074,151

The employment multiplier for medical and diagnostics laboratories is somewhat lower than wholesalers at 1.33. However, jobs in this sector have a higher average income level. Adding 100 jobs in the laboratories sector would create a total of 133 jobs in the county, 10 fewer than the result from 1100 jobs in the wholesaling sector (Figure 24). However, total payrolls associated with the laboratories sector are more than \$1 million greater at \$7 million.

Figure 24. Economic Impacts of Increased Medical Diagnostics Laboratories

	Employment	Labor Income	Value Added (GDP)
Direct Effect	100	\$5,944,690	\$9,329,331
Indirect Effect	33	\$1,079,356	\$2,099,589
Total Effect	133	\$7,024,046	\$11,428,919

## Recommendation

Target Industries are:

- 1) Medical Service Providers
- 2) Medical Administrative Services
- 3) Non Emergency Medical Transportation
- 4) Laundry Service

# Master Plan

Two target sites were identified within the Simpson Health Care Zones. Both are areas around the hospitals. The Magee site is in the downtown area and contains Magee General Hospital (MGH) and the Medical Towers at Tuscon Court. More than a dozen other health care related businesses are located in this target area. The area falls in four zoning districts; Downtown Preservation District (DPD), Restricted Commercial (C-1), General Commercial (C-2) and Single-Family Residential (R-1). The majority of the property zoned R-1 has transitioned into other uses. This site also contains various commercial activities, churches, and municipal buildings.

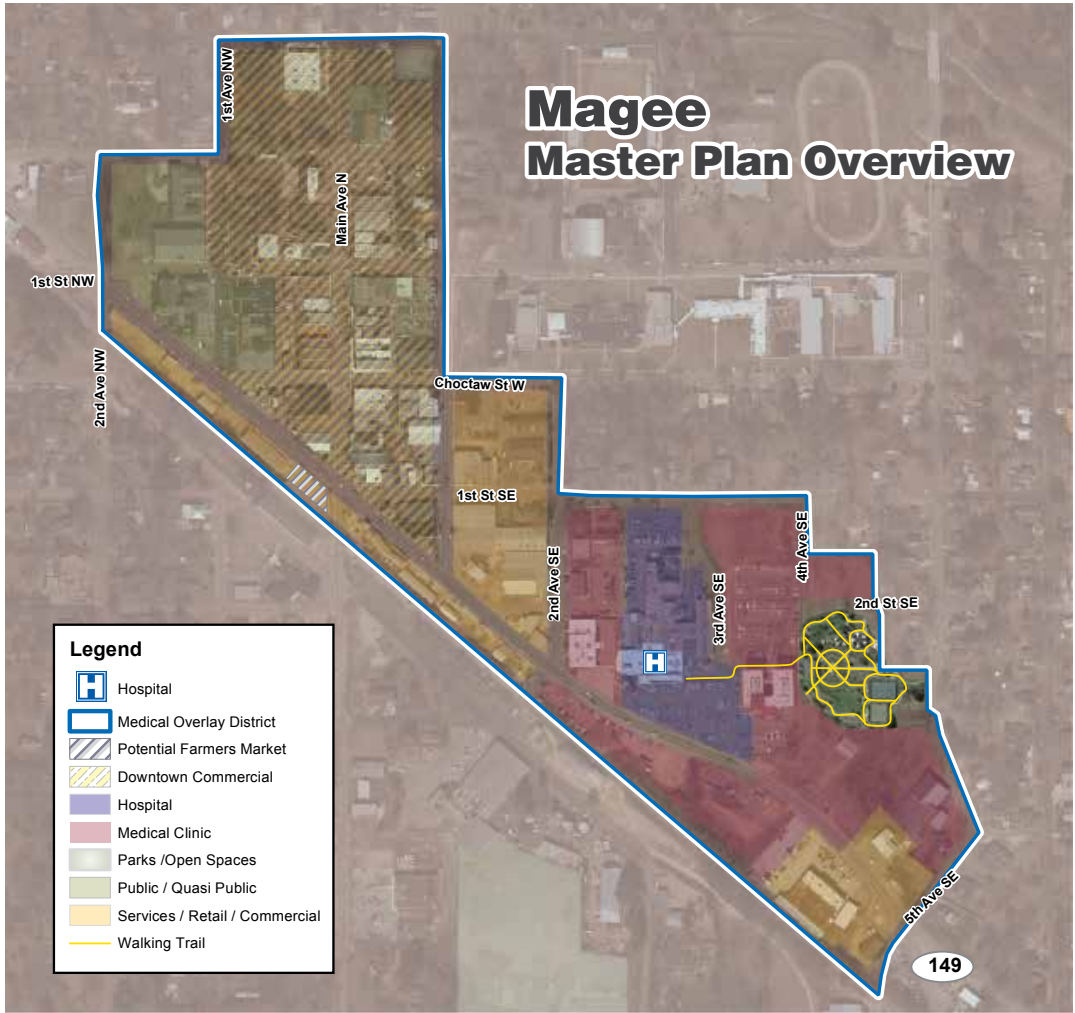
The Mendenhall site is located at the intersection of Simpson Highway 149 and MS Highway 13. Current development on this site includes Simpson General Hospital (SGH), Simpson General Behavioral Health Services, Bedford Care Center, SGH Medical Clinic, SGH Physical Therapy/Occupational Therapy, SGH Eye Clinic and Care Plus Medical Equipment and Supplies. This area is located in two zoning districts; General Commercial (C-2) and Moderate Density Residential (R-2). Also, located within less than one mile of this intersection along Highway 13 are four Region 8 facilities, Strong River Villa Assisted Living facility and two pharmacies.

Both of these areas have developed in a way that they currently serve as health care clusters. Through proper planning and development of incentives, additional health care related businesses may locate within these two areas.

For the purpose of this master plan, the following six land use categories were identified:

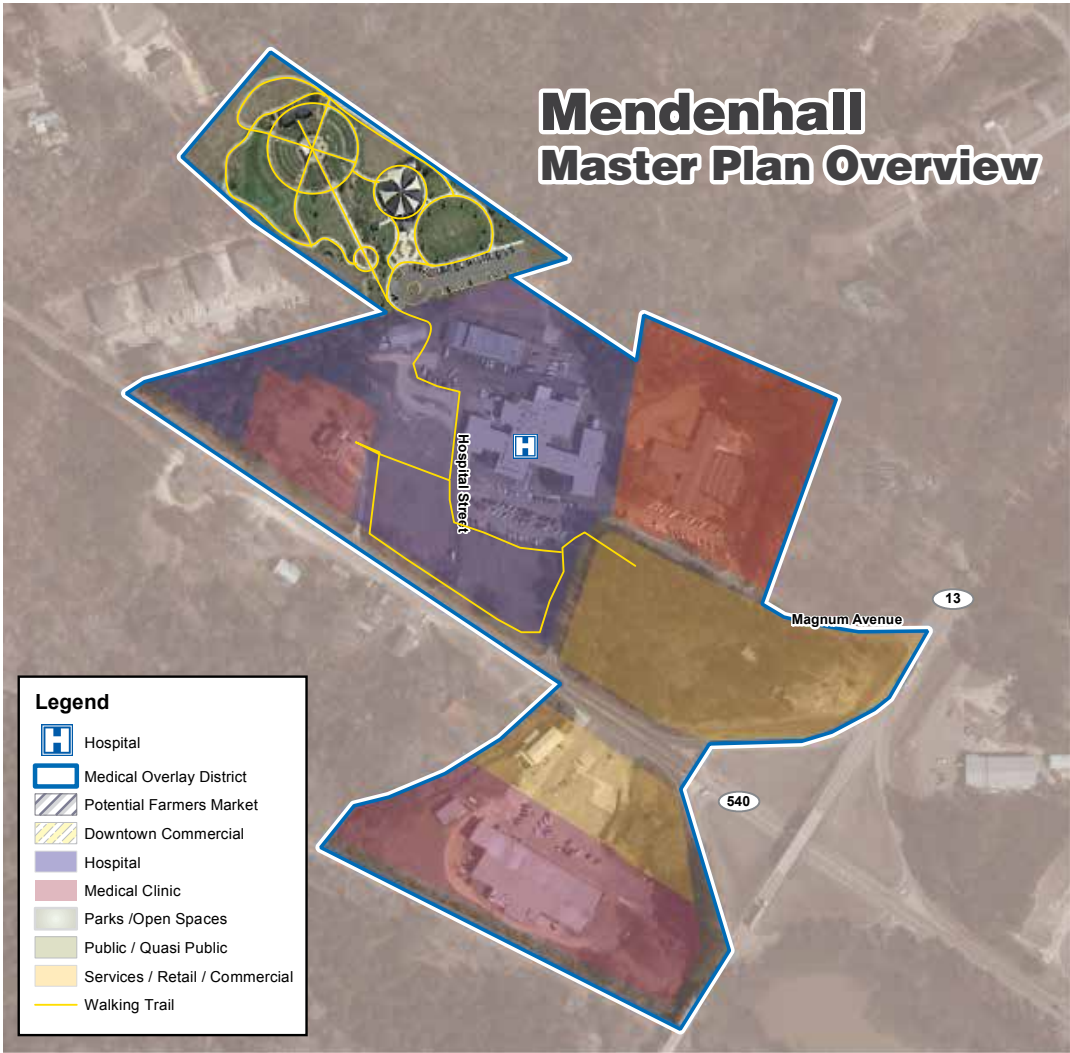
- Downtown Commercial – This area is composed of typical downtown retail shops, personal services, offices, government buildings, churches, medical/dental clinics and other health care related businesses.
- Public/Quasi-Public – This classification includes uses such as churches, schools, government buildings and facilities, cemeteries, etc.
- Services/Retail Commercial – This classification includes businesses in which the principal activity of retail sales or personal services is conducted indoors with limited outdoor display of items.
- Hospital – Designates the location of hospitals including associated offices and uses.
- Parks/Open Space – This classification includes all existing and proposed parks, ballfields, bicycle/pedestrian trails and other similar uses.
- Medical Office – The office of a health care professional that provides ambulatory care, special treatment and/or diagnostic services.





*Example of infill development within the Magee Target Site.*

# Mendenhall Master Plan Overview



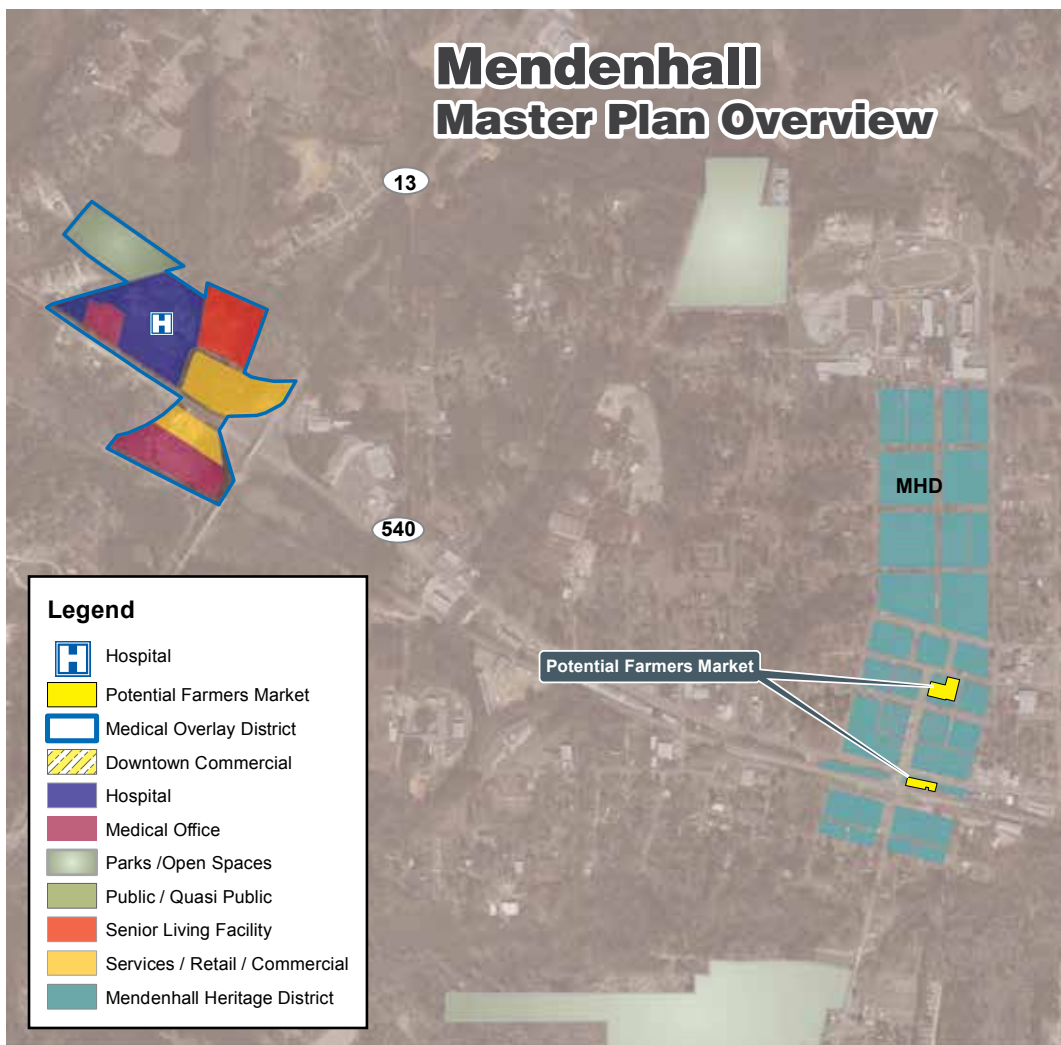
Within the two target sites potential development yields have been calculated for Medical Office and Services/Retail Commercial uses. There is a potential for 79,061 square feet of single story Medical Office development and 81,544 square feet of Services/Retail Commercial in the two target sites. Both hospitals have room for expansion on their current sites.

While there is no land designated for industrial uses in the two target sites, there is ample room for development within the Simpson County Industrial Park and the Simpson County Business Park, see Appendix C.

Type of Business	Typical Site Area (in Acres)	Typical Floor Area (in Sq Ft)	Zoning Classification	Average Floor Area to Site Ratio	Parking Ratio (spaces per 1,000 sf of floor area)	Potential Build-out
Medical Office	0.12 – 1	1,500 – 18,000	Office Commercial	0.3	4.5	79,061 SF
Services/Retail Commercial	0.1 – 1.4	1,200 – 23,000	Office Commercial	0.4	5.5	81,544 SF

## Community Health

“Blueprint Mississippi Healthcare: An Economic Driver” was released in 2012 as an appendix to the original “Blueprint Mississippi” and began to quantify the economic impact of the health care industry in Mississippi. It suggests viewing health care in two ways, one as a service provided to citizens and one as an economic industry. The Mississippi Health Care Industry Zone Act continues the two-prong theme of increasing access to health care and increasing jobs in the health care industry by establishing an incentive program for qualifying businesses. As such, elements for promoting a healthy community have also been addressed in this Master Plan.



### *Farmers Market*

The Cities of Magee and Mendenhall should promote and host a seasonal farmers market. Many communities are recognizing the economic opportunities as well as the health benefits of farmers markets. By partnering with civic clubs, community organizations and county extension staff, cities can help facilitate the operation of a community farmers market. While some communities operate a market year round, many only operate from mid spring to mid fall and only on Saturday mornings.



*Mendenhall Farmers Market*



*Mendenhall Farmers Market*

Buying fresh produce from local farmers markets not only promotes a healthier diet, but also benefits the local economy and can be a great community activity. Since the market is seasonal, it's a great way to enjoy eating fresh fruits and vegetables. It is also a great way to meet local farmers and also to introduce children to farming.

It is recommended that the market be limited to edible products for human consumption and preclude the sale of manufactured products or trees, plants and nursery stock. Also, the sale of live animals should be prohibited.

The cities should identify a suitable area that would allow for sales to occur from tents, or from the backs of trucks. A site in the downtown areas would be ideal as shoppers could leave the market and visit the shops in the downtown areas. Since the market is temporary, it may be allowed as a conditional use under the zoning regulations. The definition of public/quasi-public facilities should be amended to include farmers markets. This would provide more flexibility to re-locate to another area if the market outgrows its first location. As a conditional use, other relevant conditions may be applied such as items allowed for sale, signage and hours of operation.



*Magee Farmers Market*



## CASE STUDY: CITY OF OCEAN SPRINGS

The City of Ocean Springs, Mississippi, which is located along Highway 90 on the Mississippi Gulf Coast, is home to the Ocean Springs Fresh Market. This local/regional farmers market is held every Saturday, rain or shine, from 9 A.M. to 1 P.M. in the parking lot of the Ocean Springs Depot. The Fresh Market is a temporary marketplace meaning there are no permanent structures or signs allowed.

The Depot is essentially the gateway to downtown Ocean Springs at the intersection of Highways 90 and 609, and just before the railroad crossing that secludes the peaceful downtown from the hustle of the highways. As the tents and trucks fill the lot, the site begins to lure drivers in from highways. On any given Saturday, the Market shoppers will fill the Depot parking then flow into the shops along Ocean Springs' main thoroughfares.

A Mississippi non-profit corporate operates and manages the Fresh Market. Potential vendors must submit a request to sell their goods through an easy to use form. The application process ensures that adequate space is available for all vendors and that all produce is local or regional.





## CASE STUDY: CITY OF TUPELO

The City of Tupelo, in northeast Mississippi, has a vibrant downtown and in-town neighborhoods. The City has utilized a “Complete Streets” Ordinance to promote safe and convenient access and travel for all people, no matter their mode of transportation. Complete Streets is a method of design, operation, and maintenance that encourages walking and biking, reduces congestion, and limits conflicts among modes of transportation.

In the City of Tupelo, all new roadways and any existing roadway that is expanded or overlaid must comply with the Complete Streets ordinance. The ordinance provides for a four foot wide paved shoulder on roads exceeding 1,000 vehicles per day to be used as a bike lane or pedestrian walkway. It also requires dedicated sidewalks or shared use paths to be constructed as well as street crossing, signage, and other pedestrian-friendly items.

The City acknowledges that Complete Streets is not a “quick fix.” Implementation is gradual. However, if the same standards apply to all roadways, piece by piece, the entire City will have a safe way to travel, no matter if by car, bike or foot.

### *Complete Streets*

For the downtown areas to thrive, it is important that community leaders consider pedestrian access as well as vehicular. Complete Streets policies can improve safety and also encourage walking or bicycling which offers the potential for improved health. Complete Streets policies encourage the incorporation of sidewalks, pedestrian and bicycle lanes and wide shoulders when constructing new roads. The inter-connectivity of residential areas, schools, parks and the downtown areas should be considered when planning pedestrian routes.

The Mississippi Statewide Comprehensive Outdoor Recreation Plan (SCORP) 2015-2019, Making Strides, reports the results of surveys conducted of outdoor recreation providers and users. The survey results show that city parks are the most used recreational facilities. City parks account for 59.6% usage as opposed to state parks (49.8%) and national parks (22.3%). The survey results also report that 83% of respondents said they would walk to a park. Of the respondents who said they would not walk or bike to a park, 42% said it was due to unsafe conditions. Of the citizen survey results, the highest demand for recreational facilities was trails for walking, jogging/running and biking.



## **Recommendation**

- 1) Support the establishment of a Farmers Market
- 2) Adopt Complete Streets Policies

# Overlay District

The Cities of Magee and Mendenhall have been actively engaged in land use planning and implementing zoning controls for many years. The most current Comprehensive Plan for Magee was adopted in 2009 and the Magee Zoning Ordinance was updated the same year. Mendenhall adopted an updated Comprehensive Plan in 2012 and the Mendenhall Zoning Ordinance was adopted in 2002 and has been updated since that time.

Simpson County adopted a Comprehensive Plan in 2010 but currently does not have an adopted Zoning Ordinance. This is not a significant barrier to development because nearly all of the health care related businesses and associated development are within the incorporated areas of Magee and Mendenhall. One exception is Boswell Regional Center which is located on a large campus just outside of Magee. The area is classified as Public/Semi-Public on the Simpson County Land Use Plan.



Both hospitals, Magee General and Simpson General, function as anchors for other health care related businesses in each city. Also, both hospitals have purchased neighboring properties in order to facilitate the expansion of services.

One way to assist in promoting additional development and expansion of health care related businesses and employment is to create an overlay zoning district. The purpose of an overlay district is to place additional regulations or incentives over the existing base zoning with the intention of protecting a resource or guiding development within a specific area. Also it is advised that each city add a medical district classification to their respective Land Use Plans.

The Comprehensive Plans of Simpson County, D'Lo, Magee and Mendenhall should be amended by adding the following Goal and Objective:

**GOAL:** To encourage and promote medical and health care business, industry and employment in Simpson County.

**OBJECTIVE:** To encourage the location of medical and health care businesses and industries within the Health Care Zones designated as the 5 mile radius around Magee General Hospital and Simpson General Hospital by the Simpson County Health Care Master Plan.

The two health care target sites should be classified on the Magee and Mendenhall Land Use Plans as Medical Districts. Suggested language is as follows:

### **MEDICAL DISTRICT**

This land use classification is intended to provide locations for health care and medical-related development that are compatible to adjacent residential and commercial uses. This district provides for a limited mix of uses that complement and support the primary health care and medical uses.

The two health care target sites should be considered for designation of a zoning overlay district. Suggested language for incorporating an overlay district into Magee and Mendenhall's Zoning Ordinances is as follows:

### **PURPOSE OF THIS DISTRICT**

The purpose of the Medical Overlay District is to place additional regulations or incentives over the existing base zoning with the intention of providing for the harmonious development of medical and health care related facilities. The Medical Overlay District is intended to be protected from the encroachment of land uses that are adverse to the operation and expansion of medical and health care related developments and uses.

### **LAND USES PERMITTED**

In addition to the base zoning regulations, the intent of the Medical Overlay District is to allow and promote the following permitted land uses:

- General and private hospitals
- Medical and dental clinics
- Surgery centers
- Rehabilitation services
- Medical testing laboratories
- Nursing homes, convalescent homes, and assisted living facilities
- Medical, surgical and dental supply sales
- Pharmacies
- General office uses
- Opticians/eye care
- Florist shops
- Gift shops

## PROHIBITED LAND USES

Within the Medical Overlay District the land uses that are not permitted are:

- Game Room/Pool Hall
- Pawn Shops
- Used Car Lot
- Cell or Radio Towers
- Tattoo Parlor
- Massage Parlor
- Bar, Nightclub
- Adult Entertainment Business

## DIMENSIONAL REQUIREMENTS

Dimensional requirements are subject to the underlying base zoning.

## SITE PLAN REQUIRED

The developer of any principal or accessory structure or use in the Medical Overlay District shall submit a site plan to the Planning/Zoning Commission in accordance with Sections \_\_\_\_\_ through \_\_\_\_\_ of this Ordinance.

## REQUIREMENTS FOR OFF STREET PARKING, LOADING AND ACCESS CONTROL

See Article \_\_\_\_ for off-street parking, loading and access control requirements.

# Recommendation

- Amend Comprehensive Plan to include Goals and Objectives regarding health care industry and add a Medical District to the Land Use Plan.
- Amend Zoning Ordinance to include Medical Overlay District.

## CASE STUDY: CITY OF HATTIESBURG

The City of Hattiesburg, located 50 miles south of Simpson County, serves as a major medical destination for south-central Mississippi. The City has adopted Land Use Classifications specifically for the medical industry.

The Hattiesburg Medical District serves to “Provide locations for high-quality medical – related development...” and “a limited mix of land uses may be found that complement and support primary medical and health care industry uses.”

The goal is to cluster medical offices and clinics with retail and service businesses that serve employees and patients, such as restaurant or drug stores, hotels, and public offices.

Special attention has been given to design guidelines to ensure the district is visibly defined to the community and walking friendly with ample green space.



## CASE STUDY: CITY OF HUNTSVILLE, ALABAMA



The City of Huntsville, Alabama is home to the Huntsville Hospital, Huntsville Hospital for Women & Children, Crestwood Medical Center, and the University of Alabama at Birmingham – Huntsville Regional Medical Center, a non-emergency medical clinic, among other large medical providers. The City is a medical destination for the northeastern region of Alabama.

In 1970, the City of Huntsville amended its zoning ordinance to include a Medical District zone. In 2005, the City adopted an amendment to the Zoning Ordinance to include a second Medical District. Both Districts serve "...to provide a protective district for the harmonious development of medical facilities" and to protect "from encroachment by land uses adverse to the location, operation, and expansion of the medical use district..."

These medical districts have resulted in a uniform, easily identified cluster of health care related businesses. Patients can park or bike to a central location and visit multiple physicians and pick up a prescription or medical supply without the "in and out of the car" hassle.



# Incentives & Funding Opportunities

Incentives and funding opportunities will be a vital tool as the Simpson County Economic Development District, Simpson County, and the Cities of Magee and Mendenhall work to expand the health care industry in their communities. It is important to note that, as previously mentioned, the Town of D'Lo is located within the Health Care Zone centered on Simpson General Hospital and, as a result, may offer Health Care Zone Incentives as well. This section identifies several options for the community to utilize.

## Health Care Zone Act

The use of the Health Care Zone Incentives is the most direct incentive structure available. These incentives, made available through the Mississippi Health Care Zone Act in 2012, are available to a health care related business that either creates 25 new jobs or invests \$10 million in a qualified health care zone. Incentives include an accelerated, 10 year state income tax depreciation deduction and a sales tax exemption for equipment and materials purchased from date of certification as a qualifying business until three months after the facility is completed. Additionally, the cities and county may offer 10 year property tax “fee in lieu” or a 10 year ad valorem tax exemption. The Mississippi Development Authority must certify the business as qualified, which provides a level of protection to the local community. Additionally, the local government has some flexibility over the amount of the incentive offered on the local level.

It is also recommended that the local governments offer administrative fee abatements for health care businesses as defined in the Mississippi Health Care Zone Act of 2012 without regard to level of investment, if they locate within the Health Care Zones. Fees for re-zoning, conditional use permits, variance request, and building permits are a few examples of fees that may be abated at the discretion of the Mayor and Board of Aldermen or Board of Supervisors. While it is recommended that a full abatement be offered, it is possible that a graduated abatement be offered to reduce the impact on the local governments’ revenue stream.





## Federal Grants and Loans

Delta Regional Authority – The Delta Regional Authority was created by Congress in 2000 to enhance economic development and improve the quality of life for the residents of this region.

The DRA boundaries follow the Mississippi River and include portions of Mississippi and seven other states. Each year, the states are awarded grant funds for transportation and basic infrastructure improvements as well as entrepreneurial business development and job training.

Historically, Mississippi has received approximately \$1 million annually for grant disbursement. At least 50 percent of the State's annual allocation must be spent on transportation and basic infrastructure improvements. Applications are accepted once annually and are reviewed by the federal co-chairman and the governors of the eight participant states. Eligible projects must document new job creation or job retention. Industrial or office park road development, water and sewer infrastructure improvements, and skills training for a specific job are all eligible. Both Magee General and Simpson General Hospitals have received DRA assistance for expansions and equipment purchases in the past.

Economic Development Administration (US Department of Commerce) – The US Economic Development Administration, a division of the Department of Commerce, offers several grant programs annually, depending on funding availability. All EDA grants for infrastructure must be directly related to new job commitments and the improvements must be publicly owned. Eligible infrastructure improvements include, water and sewer distribution systems, road networks, and rail spurs. These funds require a match commitment and are typically limited annually. Applications are accepted year-round but are only reviewed once per quarter. These funds are ideal for site development or infrastructure improvements necessary for the location of the large office or industrial employer.

Through an EDA Revolving Fund Loan program, CMPDD is able to offer small businesses a maximum loan of \$200,000 for fixed assets, inventory, and/or working capital. The loan can finance up to 33% of the total project, for up to 15 years at an interest rate of 5.00% fixed. One job per \$5,000 of project financing must be committed by the small business. This loan program would benefit small businesses that are starting, expanding, or relocating. The Simpson County Economic Development District should provide information on this program to prospective small businesses that are in need of assistance.

Small Business Administration – CMPDD is designated by the US Small Business Administration to serve as a certified development corporation, meaning, CMPDD can offer SBA loans and loan guarantee programs to small businesses within the

district's boundaries, including the Simpson County Health Care Zones. As such there is one loan program and three loan guarantee programs that are offered to small businesses for fixed assets and/or working capital.

The first is a loan of up to \$1.5 to \$2 million for a 10 or 20 year term at a fixed interest rate. The loan must be used for fixed assets and cannot exceed 30 or 40% of the project. The loan guarantee programs are available for pre-qualified small businesses, small businesses that export products, and small offices or home offices.

A guarantee of up to 90% is available for pre-qualified small businesses owned by minorities and/or women providing services in "new markets" for fixed assets, inventory, and/or working capital. For pre-and post-export working capital, a loan guarantee is available up to 90%. A small office or home office may qualify for a \$50,000 loan for working capital with a 100% guarantee. All four of these loan and loan guarantee programs could assist small businesses that are starting, expanding or relocating and should be marketed as potential funding sources for businesses within the Simpson County Health Care Zones.

United States Department of Agriculture – USDA provides grant funding through their Farmers' Market Promotion Program to assist local farmers' markets. The goals of FMPP grants are to increase domestic consumption of, and access to, locally and regionally produced agricultural products, and to develop new market opportunities for farm and ranch operations serving local markets by developing, improving, expanding, and providing outreach, training, and technical assistance to, or assisting in the development, improvement, and expansion of, domestic farmers markets, roadside stands, community-supported agriculture programs, agritourism activities, and other direct producer-to-consumer market opportunities. The maximum amount awarded for any one proposal cannot exceed \$100,000; the minimum award is \$15,000. The Cities of Magee and Mendenhall along with both hospitals and the Simpson County Economic Development District could partner to sponsor a local farmers' market using these funds to start and promote the market.

### **State Grants and Loans**

The State of Mississippi offers several grant and loan programs that are intended to assist local governments with a multitude of improvements, all of which improve quality of life for the residents. There are grants and loans for infrastructure improvements necessary for development, environmental clean-up, recreational improvements, and workforce development.



MDA: CDBG Economic Development – The Community Development Block Grant - Economic Development Program is available through the Mississippi Development Authority to fund publicly owned infrastructure improvements to

assist with the location, expansion, or retention of businesses and industry. The project must include job creation. At least 51 percent of the jobs created must be made available to low and moderate income individuals. The maximum grant award is \$650,000.

The applicant must be a local government and the typical project beneficiaries include manufacturers, warehouse and distribution centers, research and development facilities, telecommunications and data processing facilities, and national or regional headquarters. Examples include drainage systems, water and sewer systems, roads and bridges, rail spurs, and building rehabilitation or expansion. Given the typical project beneficiaries and the eligible activities, these funds could be used for the further development of the business park or to provide additional capacity to the existing systems.

Mississippi Department of Employment Security – As authorized by the Workforce Investment Act, the Mississippi Department of Employment Security and the Southcentral Mississippi Works, Workforce Investment Area, on-the-job training opportunities are available to existing businesses. Although not a direct source of funds, on-the-job training and similar training hosted at the WIN Job Centers, businesses can utilize state and federal resources to provide current employees with training related to business shifts. Additional information is available on the CMPDD website ([www.cmpdd.org](http://www.cmpdd.org)).

Mississippi Department of Wildlife, Fisheries, and Parks – Two federal grant programs tied to recreation are funneled through each state for distribution. The Department of Wildlife, Fisheries, and Parks is the funding agency for the State of Mississippi for both grant programs. Each state receives a separate allocation for the programs and the amount of funding passed down to the states varies annually. The programs are Land and Water Conservation Fund and Recreational Trails Program.

The Land and Water Conservation Fund program is designed to create and maintain high quality recreation areas and facilities for future generations. The program provides matching funds for state and local governments to acquire and develop

public outdoor recreational areas and facilities. Eligible activities include construction of ball fields, walking trails, playground equipment, and trailhead facilities including picnic



and restroom facilities. The property on which these improvements are made must be used for recreational purposes perpetually. If conversion of the original property is required, a replacement property of equal size must be identified and acquired.

These grants are typically limited in funding availability and require 50 percent match. In recent years, no funding has been available in Mississippi; however, funding may be reinstated in future years. Land and Water Conservation Fund may be an ideal funding source for creating park like areas and walking trails around the hospitals.

The recreational related program is the Recreational Trails Program. This program is designed to develop multi-purpose recreational trails for uses such as walking, jogging, biking, equestrian, or motorized vehicles. Sidewalks are not an eligible project under this program; however, paved walking trails are allowed as long as they do not parallel a roadway. Grant awards are limited to \$100,000 for non-motorized trail projects and require matching funds. The proposed walking trails around both hospitals would be eligible for funding under this program. Applications are accepted annually.

### **Local Grants and Loans**

Central Mississippi Development Company – CMPDD offers two loan programs for minority-owned and one for small businesses through the Central Mississippi Development Company, and is partially funded through the Mississippi Development Authority. The loan programs, which are described in greater detail below, should be marketed to prospective businesses within the Simpson County Health Care Zones to assist in start-up and/or expansion.



The Mississippi Minority Business Enterprise loan program can make fixed assets, inventory, and/or working capital loans up to \$250,000 representing not more than 50% of the total project cost. The business must be minority and/or female owned. The current term is 15 years at 6.50% fixed.

The Micro-Minority Business Enterprise loan program can make micro-loans to eligible minority and/or woman business owners. These loans will be for 100% of the project cost, not to exceed \$35,000, with a 5 year term and fixed 4.50% interest rate.

The Mississippi Small Business Assistance loan program can make fixed assets, inventory, and/or working capital loans up to \$250,000 representing not more than 50% of the total project costs. The terms are 15 years at 5.00% fixed.

### **Designated District-Based Tax and Bond Funding Incentives**

Although property or equipment tax breaks are the most common economic development funding incentives offered by local municipalities, there is a set of

incentives which are based on the designation of an eligible area or district. These incentives show commitment to a specific area, can serve a variety of needs, and do not cost the local municipality vital tax revenue. Included in this set of incentives are Business Improvement District, Tax Increment Financing, and Urban Renewal Area.

Business Improvement District – In 1995, State legislation allowing the creation of Business Improvement Districts (BID) was passed and became law. BIDs are targeted areas that impose a self-determined levy on all property within the area for the purpose of providing services and improvements beyond those provided by the local municipality. As the name implies, BIDs are designed to restore and promote business activity within a contiguous commercial or industrial area; therefore, residential land uses are excluded from BIDs. The only BID currently in the State is Downtown Jackson Partners in the City of Jackson.



As prescribed by Statute, property owners within the targeted area create, govern, fund, and regulate the BID, not the local municipality. Although the local municipality may encourage and support the creation of a BID, the local municipality's involvement in the BID is limited to serving as a financial pass-through and providing administrative support during BID reauthorization.

To establish a BID, the municipality must be notified by a petition signed by at least 20 percent of the property owners within the targeted area. The property owners must then develop a district plan which, defines the boundaries of the BID, tax levy, and determines the goals and strategies for the BID for a five year period. Following the development of the "district plan" and a public hearing, a super-majority, at least 70 percent, of the property owners within the proposed BID must approve the district plan to establish a BID. A majority of the property owners within the BID must also select a "district management group" which can be a non-profit organization, local Chamber of Commerce, development corporation, or department of the local municipality. The district management group is tasked with the daily operations of services offered, financial oversight, and is responsible for ensuring the district plan is met.

The district plan establishes the amount of tax levy each property will be assessed per gross square footage of buildings and unimproved real estate. The tax is collected by the municipality annually at the same time that other property taxes are collected. The BID revenue is then transferred to the "district management group" for implementation of the district plan.

The improvements and services offered by the BID must improve the appearance or economic functioning



of property located with the designated area. Examples include, sidewalks, street medians, lighting, fountains, landscaping, economic development and tourism assistance, parking management, security, training programs, and water and sewer infrastructure improvements.

The downtown areas are conducive for a BID based on the aforementioned regulations. By design, a BID does not require additional revenue or funding from the local municipality and if successful, can increase tax revenues for the local municipality through increased sales and property values. Since the creation of the BID in downtown Jackson, economic investment in the area has increased significantly, the crime rate has decreased, and occupancy rates in the area have also increased. This real-world, local example is ideal for depicting the impact a BID can have on an area. If a BID is created, services offered might include funding for additional landscaping, landscape maintenance, security, uniform lighting through the area, and marketing/recruitment. Each of these services would improve the aesthetics of the area, assist in reducing crime, and serve as an outward commitment to the future of the area, all of which encourage new investment.



Tax Increment Financing – Tax Increment Financing (TIF) is another designated district based economic development funding incentive. TIF is an alternative funding stream for public infrastructure improvements necessary for the redevelopment of property that is currently under-utilized or is a threat to the health, safety, and general welfare of the community, but if improved would result in a significant increase in property value and would benefit the public. The local municipality must adopt a redevelopment plan that includes a TIF plan, which outlines the boundaries of the project area, the duration of the TIF, description of work to be undertaken, an estimate of cost, and detailed list of funding sources for both infrastructure and vertical (building) improvements.

TIF utilizes bonds, which are issued by the local municipality, to fund the infrastructure improvements. The bonds are then repaid with the additional tax revenues that are generated by the property value increasing as a result of both infrastructure and building improvements. Prior to commencing any improvements, the assessed value of real property located within the TIF site is certified, and will be known as the “original assessed value.” Each year following, the value of the real property is reassessed (“current assessed value”) to identify any increases or decreases in value. The amount by which the current assessed value of the real property exceeds the original assessed value is the “captured assessed value,” and is used for payment of bonds. The municipality may choose to include sales taxes

in addition to ad valorem taxes, which would use a similar base year calculation to determine new revenue. Additionally, the municipality may also partner with the county to utilize its portion of tax revenues as well.

Moreover, the local municipality may enter into an agreement with a private developer to construct the proposed project including any infrastructure and buildings. The private developer would be responsible for operating and maintaining the proposed project. Although, a partnership with a private developer is optional, it is recommended as such a partnership ensures that the site will be fully developed, which secures the payment of bonds. Furthermore, the municipality does not become the land owner, thus, the property remains on tax rolls. Through a partnership with a private developer, the municipality is also not solely responsible for marketing, leasing, and maintaining any retail, commercial, or residential development.

The City of Ridgeland successfully partnered with a private development firm to redevelop the Highland Colony area utilizing TIF. The TIF funding was used to relocate and expand water, sewer, natural gas, and road infrastructure, including the addition of walking/bike trails. The results of this partnership include 13 office buildings, two hotels, over 5,000 square feet of retail space, and numerous restaurants. TIF projects can be limited to a single parcel or contiguous parcels to form a larger site; however, it is vital that the local municipality has the documented commitment of a private developer to complete vertical improvements within the site, which becomes the source of future tax revenues, prior to issuing bonds.

Health Care Zone Incentives and Funding Opportunities		
Federal Programs	Description	Contact
Delta Regional Authority	Grants to local governments and non-profits for transportation and basic infrastructure improvements, as well as entrepreneurial business development and job training.	CMPDD, DRA
Economic Development Administration	Grants to local governments for the construction of public infrastructure to support a private investment.	CMPDD
Small Business Administration	Loan and loan guarantee programs assist small businesses that are starting, expanding or relocating.	CMPDD
United States Department of Agriculture - Farmers' Market Promotion Program	Provides funding for the creation, expansion, and promotion of farmers' markets.	USDA



State Programs	Description	Contact
Advantage Jobs Program	A rebate of a percentage of a Mississippi payroll to qualified employers for 10 years. Must meet minimum average wage requirement.	MDA
Airport Revitalization Revolving Loan Program	Financing for Airport Authorities to make improvements to an operational airport.	CMPDD, MDA
Capital Improvements Revolving Loan Program (CAP)	Loan financing for local governments to make improvements to publicly owned infrastructure.	CMPDD, MDA
Community Development Block Grant Public Facilities	Funds publicly owned infrastructure.	CMPDD, MDA
Community Development Block Grant & Public Facilities (CDBG – PF)	Funds publicly owned infrastructure improvements that benefit the disabled or low to moderate income residents. ADA playgrounds are eligible.	CMPDD, MDA
Community Development Block Grant Economic Development (CDBG – ED)	Funds publicly owned infrastructure improvements to assist with the location, expansion, or retention of businesses and industry. The project must include job creation.	CMPDD, MDA
Economic Development Highway Grant Program (EDH)	Funds for transportation improvements with a private investment of at least \$70 million.	CMPDD, MDA
Energy Infrastructure Revolving Loan Program	Provides local governments with a loan to improve energy infrastructure to promote growth in Mississippi.	MDA
Land and Water Conservation Fund	Designed to create and maintain high quality recreation areas and facilities including passive parks and walking trails.	MSDWFP
Mississippi Business Finance Corporation (MBFC)	Issuance of local bonds to finance purchase of land, buildings, or infrastructure by the local government.	MBFC
Mississippi Health Care Industry Zone Job Tax Credits	Credits that can be applied to state income tax to reduce tax liability.	MDA
Mississippi Health Care Industry Zone Sales Tax Credits	Qualified businesses receive sales and use tax exemption for construction materials and equipment related to the location or expansion of a health care related business in a designated zone.	MDA
National or Regional Headquarters Tax Credit	Credits that can be applied to state income tax to reduce tax liability for businesses that locate or expand their headquarters in Mississippi.	MDA

National or Regional Headquarters Sales Tax Exemption	Qualified businesses receive sales and use tax exemption for construction materials and equipment related to the location or expansion of a headquarters.	MDA
Property Tax Exemption for Industrial Revenue Bond Financing	An exemption from property taxes on land, building, and equipment on property purchased with industrial revenue bonds proceeds from the MBFC.	MDA
Recreational Trails Program	Develop multi-purpose recreational trails for uses such as walking, jogging, and biking.	MSDWFP
Research and Development Skills Tax Credit	Credits to reduce tax liability for positions requiring research or development skills.	MDA
Rural Economic Development Income Tax Credit	Credits to reduce corporate income tax based on the amount of bond-related debt service paid on industrial revenue bonds issued by MBFC.	MDA
Rural Impact Grant Fund (RIF)	Funds publicly owned infrastructure improvements to benefit a new or expanding business.	CMPDD, MDA
Sales and Use Tax Exemption for Bond Financing, Construction, or Expansion	Sales tax exemption for purchases made with bond proceeds or for qualified construction projects.	MDA
Skills Training Income Tax Credit	Credits to reduce income tax liability for businesses that offer training for their employees.	MDA
<b>Local Programs</b>	<b>Description</b>	<b>Contact</b>
Business Improvement District (BID)	Targeted areas that impose a self-determined levy on all property within the area for the purpose of providing services and improvements beyond those provided by the local municipality.	CMPDD, Simpson County Economic Development District, Simpson County, Cities of Magee and Mendenhall
Free Port Warehouse Property Tax Exemption	Full exemption from property taxes by local governments for personal property that is held and stored prior to transport to a final destination outside of the state.	Simpson County Economic Development District, Simpson County, Cities of Magee and Mendenhall

Industrial Property Tax Exemption	Granted by local governments, a 10-year exemption from property taxes on real and tangible personal property used within the state.	Simpson County Economic Development District, Simpson County, Cities of Magee and Mendenhall
Micro-Minority Business Enterprise Loan Program	Micro-loans to eligible minority and/or woman business owners; loans will be for 100% of the project cost, not to exceed \$35,000.	CMPDD
Mississippi Minority Business Enterprise Loan Program	Fixed assets, inventory, and/or working capital loans up to \$250,000 for businesses owned by a minority or woman.	CMPDD
Mississippi Small Business Assistance Loan Program	Fixed assets, inventory, and/or working capital loans up to \$250,000.	CMPDD
Property Tax Fee in Lieu	For new or expanding businesses, the local government may offer a fee in lieu of property taxes for an established period of time.	Simpson County Economic Development District, Simpson County, Cities of Magee and Mendenhall
Tax Increment Financing (TIF)	Funding stream for public infrastructure improvements utilizing bonds, which are issued by the local municipality, to fund infrastructure improvements. The bonds are repaid with the additional tax revenues that are generated by the property value increasing.	Simpson County Economic Development District, Simpson County, Cities of Magee and Mendenhall

## Recommendation

- Utilize suggested Incentives to support the health care industry through recruitment and retention.
- Utilize funding opportunities to support infrastructure expansion to meet the needs of the health care industry and to create a healthy lifestyle community.

# Marketing

Marketing Simpson County and the Simpson County Health Care Zones to the health care industry, and the general public, is the responsibility to the Simpson County Economic Development District staff, as well as the local governments and hospitals. A marketing strategy is presented in this Master Plan to provide these entities with a guide for promoting and recruiting businesses and providers in the health care industry to Simpson County.

A key component is to provide an ongoing “point of contact” for key target industries and providers which includes:

- health care professionals,
- any business that can qualify for the MS Health Care Zone Incentives,
- commercial/residential property developers and investors,
- local/regional/national retailers,
- current business owners/executive leadership,
- state/federal governmental agencies
- current and potential residents
- community/civic organizations
- elected officials, and
- general regional populace



In its most fully-realized state, this point-of-contact should be Economic Development District staff who is knowledgeable about economic development in general and have expert knowledge and information about the Simpson County Health Care Zone Master Plan in particular.

As has been stressed earlier, this project has been driven by a spirit of collaboration. Starting with the group effort among the entities responsible for the development of the Master Plan, to the involvement of members of the current community of business owners, to the inclusion of residents and neighborhood leaders, to the input by those representing civic planning and economic development entities, as well as consultation with the leadership of neighboring municipalities and elected officials this process has been a model of the collaborative method. Further, it is believed that the successful marketing of the Simpson County Health Care Zones must continue in that vein and that an ongoing effort to develop and nurture mutually beneficial partnerships is crucial.

Some additional strategies/tactics that may be adopted are listed below.

- Develop formal marketing materials (brochure/info packets and video) and send marketing materials to prospective providers or businesses; follow-up to schedule one-on-one meetings
- Form Simpson County Health Care Zone Business Partners Team (suggest representatives from City, County, and State Economic Development agencies are included; member from Chamber, member from health care providers)
- Attend trade shows – include Simpson County Health Care Zone Business Partners with team
- Paint all of the light poles a unified color within the Target Sites as a quick way to “brand” the sites visually; more budget friendly option as compared to purchasing new fixtures
- Install “Living Well in Simpson” signs or banners within the Zones with the logo.
- Run a branded “Living Well in Simpson” billboard campaign along US Highway 49.
- Put a permanent link of the Simpson County Health Care Zone Master Plan webpage and viewer on the Cities’ and County’s website, as well as the hospitals’
- Support community events such as the Farmers Market and any healthy lifestyle event.

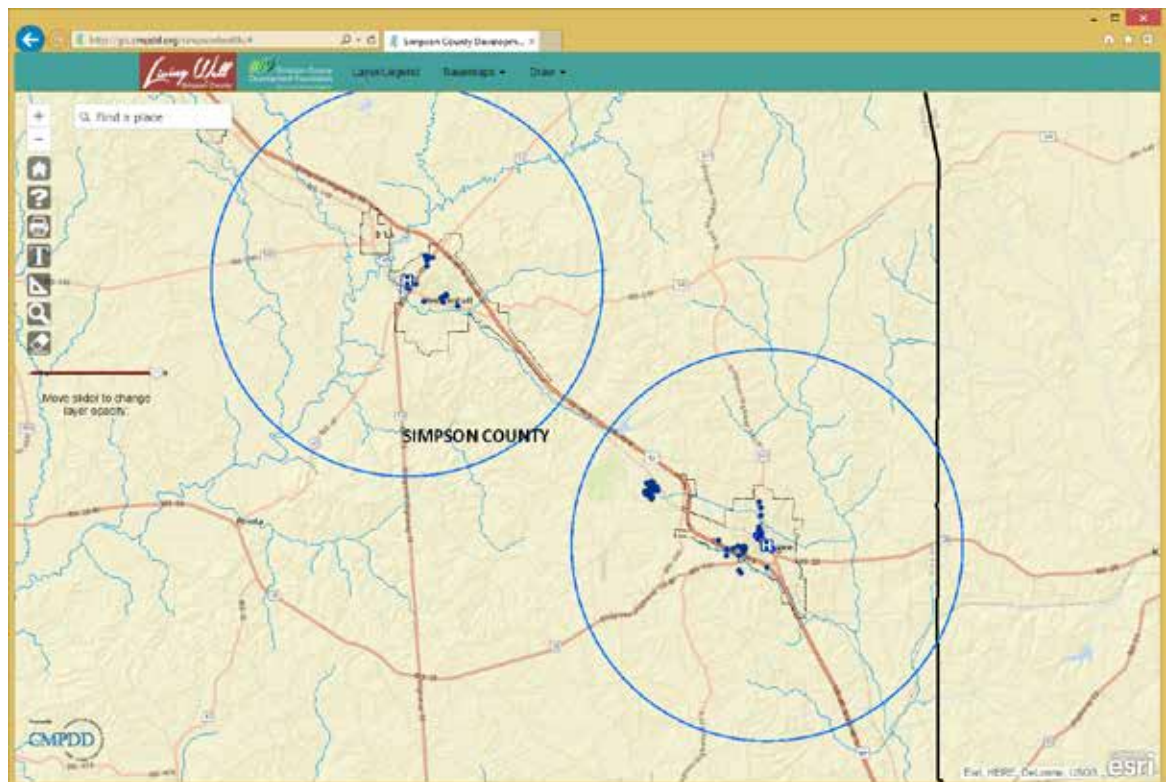
## Recommendation

- Promote the Simpson County Health Care Zones through marketing to prospective businesses, health care providers, and the general public.
- Utilize “Living Well in Simpson” slogan and logo.

# Map Viewer

As part of the development of the Master Plan for the Simpson County Health Care Zone, the CMPDD created an interactive web-based GIS (Geographic Information Systems) mapping viewer application. With this tablet compatible internet based GIS viewing tool, users are able to pick and choose which background map and data layer(s) they wish to view from a menu of available information. This new service will allow accessibility to numerous informational data layers including aerial imagery, topography, Health Care Zones, existing land use, the land use plan, zoning, Medical District Overlay Zones, recreational features/facilities, land ownership, and flood zones. A link to the viewer can be found on the Simpson County Economic Development District website at <http://gis.cmpdd.org/simpsonhealth>.

In developing this information tool, CMPDD Planners and GIS staff worked with programmers to develop a customized map application aimed at meeting the needs of the economic developers and prospective businesses, as well as, the general public. The application serves as a dynamic map library allowing for updates and improvements to the system to reflect changes in various layers of information contained therein. Examples of slated improvements include: new aerial imagery, updated parcel information, and the addition of new developments planned or under construction in the study area.



Currently the following layers of information can be viewed using this application:

- Health Care Zones
- Existing Health Care Related Businesses
- Simpson County Existing Land Use
- Simpson County Land Use Plan
- City of Magee Existing Land Use
- City of Magee Land Use Plan
- City of Magee Zoning
- City of Magee Medical Overlay District
- City of Mendenhall Existing Land Use
- City of Mendenhall Land Use Plan
- City of Mendenhall Zoning
- City of Mendenhall Medical Overlay District
- Town of D'Lo Existing Land Use
- Town of D'Lo Land Use Plan
- Town of D'Lo Zoning
- Transportation Network
- Recreation Facilities
- Flood Plain
- Airports and Rail
- Parcels

## Recommendation

Utilize the map viewer as a marketing and promotion resource to prospective businesses within the health care industry.

# Appendix

## Stakeholder Interview Guide

*\* Denotes Multiple Answers*

- 1) Please describe your business. What services do you offer? What is your service area? If you are an inpatient facility, how many beds do you have? How many exam rooms?

*N/A*

- 2) How many employees do you have?

*N/A*

- 3) What types of healthcare related businesses have been successful in Simpson County – specifically Magee and Mendenhall? Why?

- *Nursing homes/Assisted living \*\*\*\*\**
- *Dialysis clinics \**
- *Physical Therapy \*\*\*\**
- *Pharmacies \*\*\*\*\**
- *Medical equipment supply \*\*\*\*\**
- *Home health care \*\**
- *Hospitals \*\*\*\**
- *Hospice \**
- *Medical billing*
- *Mental health services \**
- *Dentist \**
- *Psychologist*
- *Group homes*
- *Family planning*
- *Swing bed services*
- *Eye clinic*
- *Medical office space*
- *Out-patient surgery*



- 4) What types of healthcare businesses have struggled while in Simpson County – specifically Magee and Mendenhall? Why?

- *Medical supply*
- *Senior care programs*
- *Psychologist*
- *Hospitals*
- *Dentist*
- *Home health care*
- *Hospice*



5) What has assisted development in the area? More specifically, what has assisted healthcare development?

- *Hospitals \**
- *Existing health care industry*
- *Location/Transportation (on Hwy 49 btwn Jackson and Hattiesburg) \*\*\*\*\**
- *Surrounding areas are very rural*
- *Co-Lin College \*\*\*\**
- *USM, JSU, William Carey, JCJC \**
- *Banks*
- *Hospitality \**
- *Taxes*
- *Population density*
- *Zoning*
- *Available commercial real estate*
- *Business friendly environment*

6) What are barriers to development in the area? Specifically, healthcare development?

- *Educational system/schools \*\*\*\*\**
- *School facilities*
- *School test scores*
- *Workforce \**
- *Housing stock \**
- *Airport limitations (runway length)*
- *Lack of public transportation/non-emergency \*\**
- *Lack of pediatricians*
- *Lack of marketing \*\**
- *Water and sewer infrastructure improvements along Hwy 13*
- *Certificate of Need for additional nursing home*
- *Difficulty recruiting physicians \**
- *Difficulty attracting specialists \**



- 7) What other healthcare needs/services are in demand in Simpson County?  
Are there needs beyond physicians i.e. shared services, billing, etc.?
- *24 hour pharmacy*
  - *Non-emergency transportation \*\*\*\**
  - *Assisted living \*\*\**
  - *Adult daycare \**
  - *Waste pickup*
  - *Linen/Laundry services*
  - *Geriatric services*
  - *Sports medicine*
  - *Cancer treatment*
  - *Family medicine/primary care*
  - *Billing service \**
  - *Home health care*
  - *Mental health services*
  - *Pediatrician*
  - *Medical equipment supply \**
  - *Dentist*
  - *Ambulance services*
  - *Hospitalist program*
  - *24 hour clinics*
  - *Well trained nurses, CNAs, lab techs, X Ray techs, appointment, billing and insurance clerks*
- 8) What other healthcare businesses could be supported in the area based on demand, workforce, logistics, similar businesses, etc?
- *Non-emergency transportation \**
  - *Lab service*
  - *Physical therapy*
- 9) Are there shared services (i.e. labs, laundry, waste disposal) that could benefit from locating in Simpson County?
- *Linen/Laundry services \*\*\**
  - *Janitorial Labor*
  - *Food services \**
  - *Non-emergency transportation*
  - *Lab service*
  - *Hazardous waste disposal*
  - *Medical air supply \**
  - *Housekeeping*





10) Are there any locations within the Healthcare Zone that would be ideal of a cluster of healthcare related businesses?

- *Industrial Park on Hwy 49 in Magee \*\*\*\**
- *Area around each hospital \*\*\*\**
- *Area near Hwy 13 and Hwy 49*

11) Do you have any policy ideas that would help the area? Examples may be zoning changes, building and parking requirements, etc?

- *Improve downtown areas \**
- *Relax the Liquor laws \**
- *Improve marketing of services \*\*\**
- *Tax incentives \**
- *Fast track loans for young physicians*
- *Improve schools*
















12) Are you aware of any similar projects in other communities that may be a resource for this project?

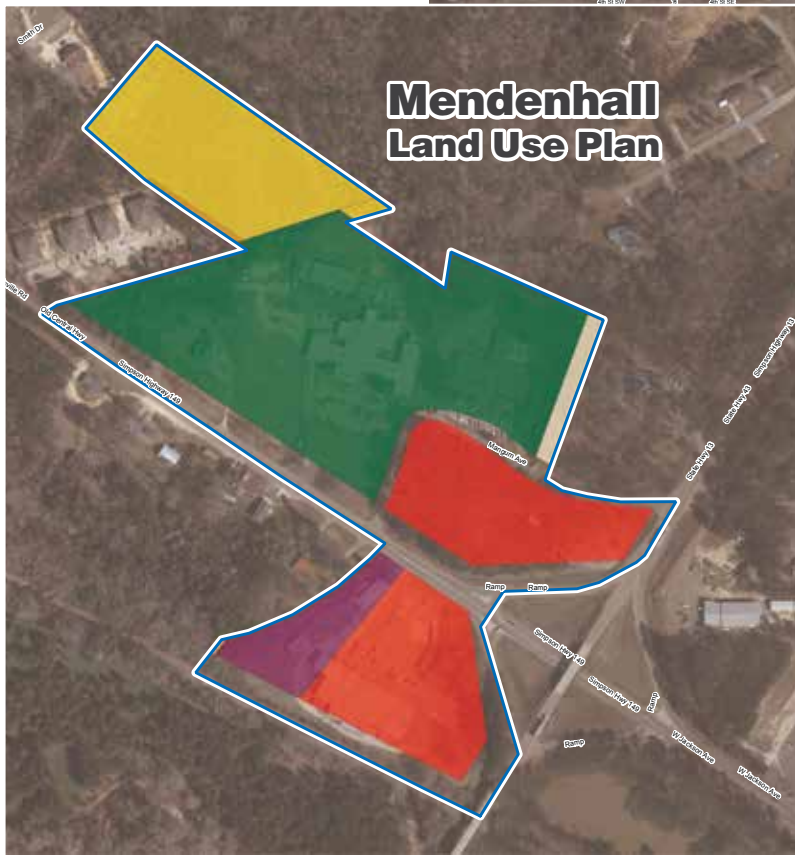
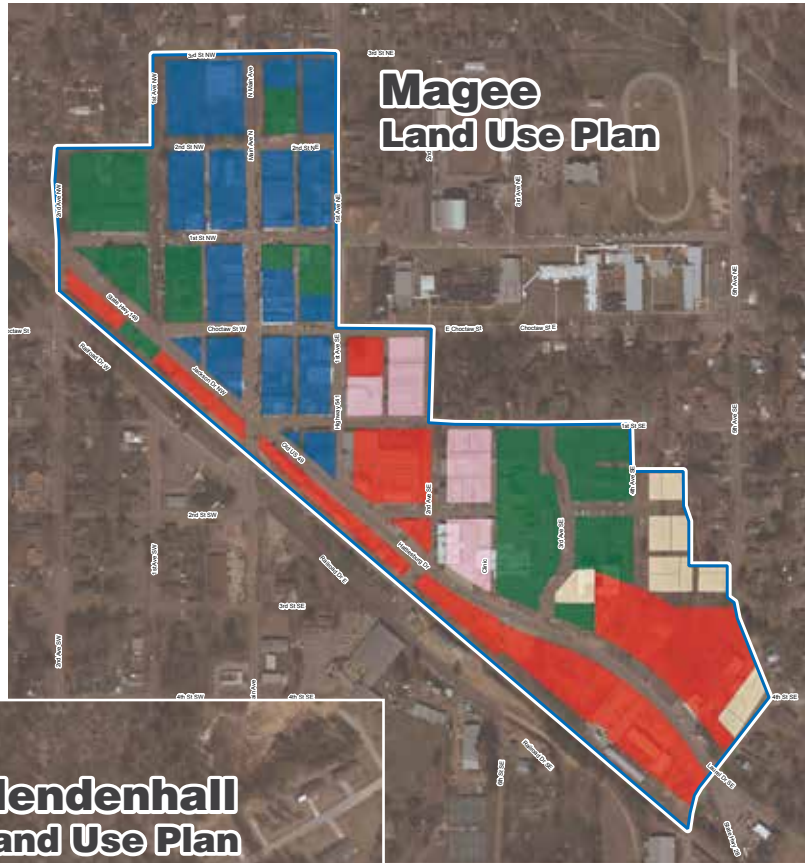
- *Olive Branch, MS*
- *Brookhaven \*\**
- *Morton (tax credits)*
- *Serenbe, GA*
- *Petal*
- *Ellisville*
- *Lucedale*
- *McComb*
- *Hattiesburg (Wesley campus)*

13) Who should be considered a stakeholder in this project area and should be included in surveys and public forums/focus groups? Can you provide us with a list with names, addresses, email, phone, etc?

N/A

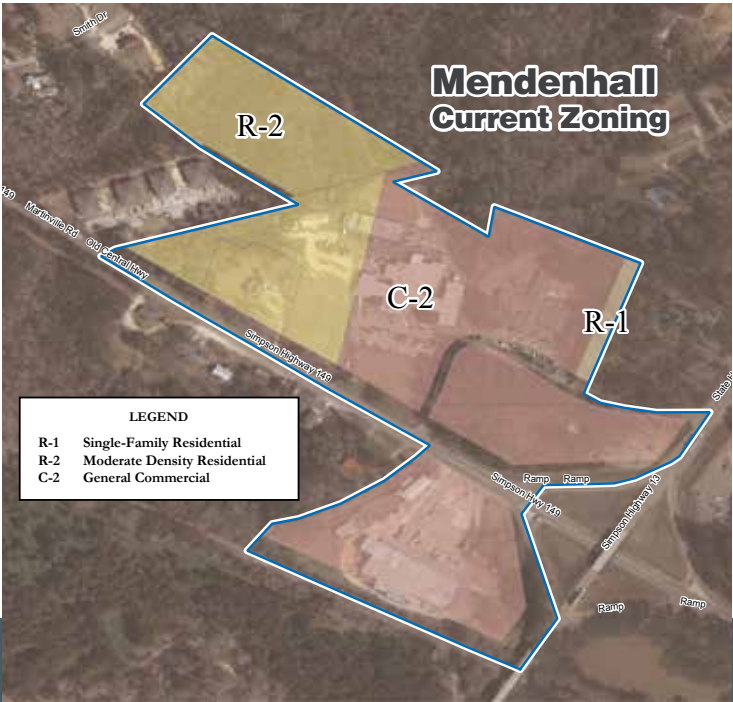
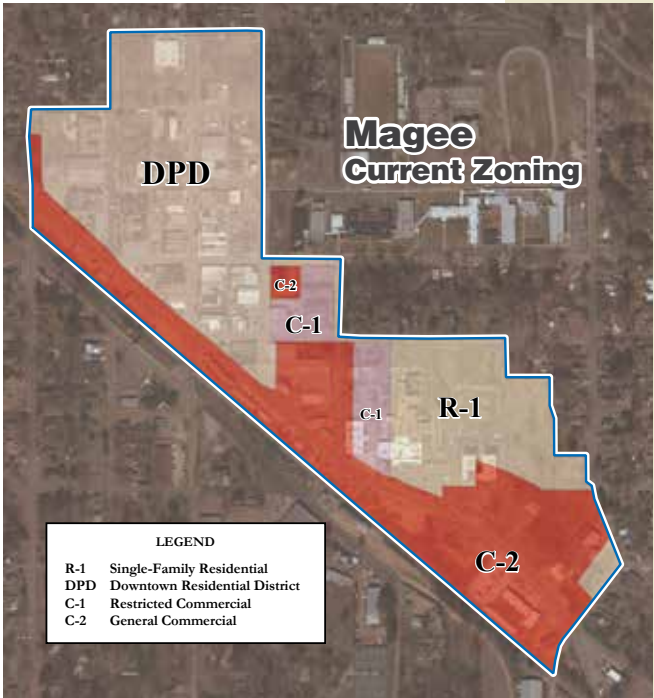
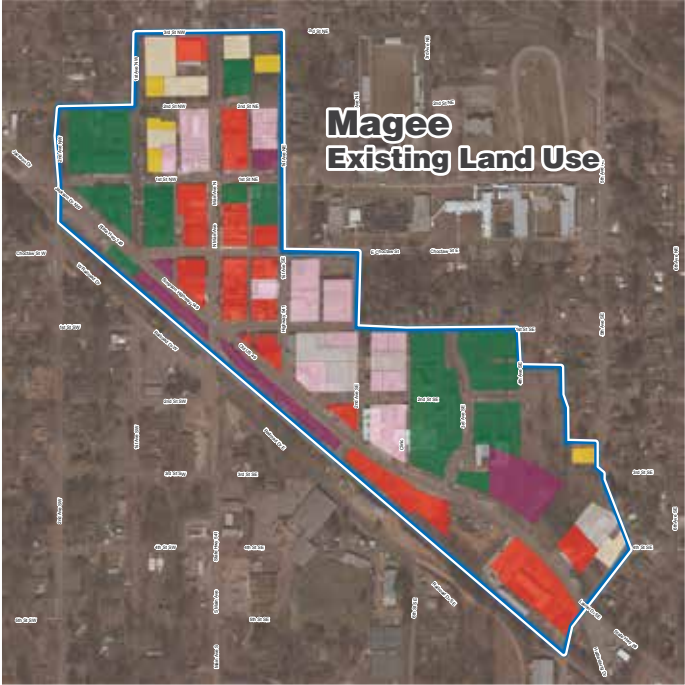
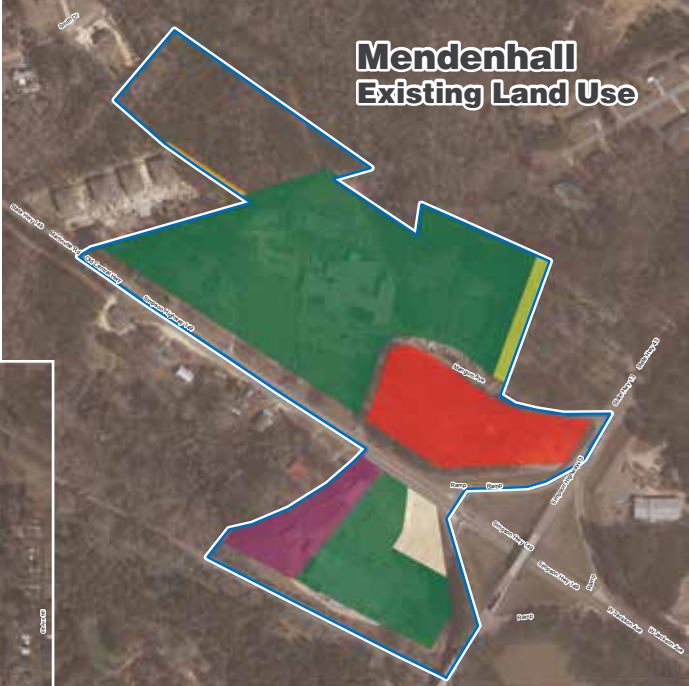
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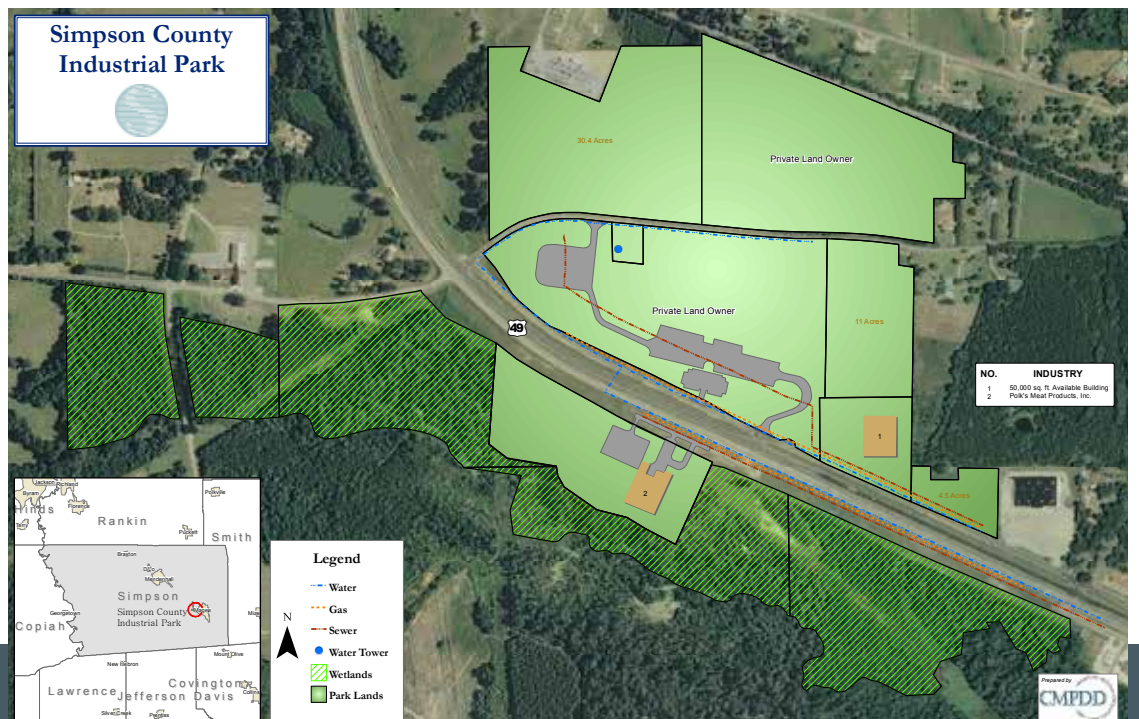
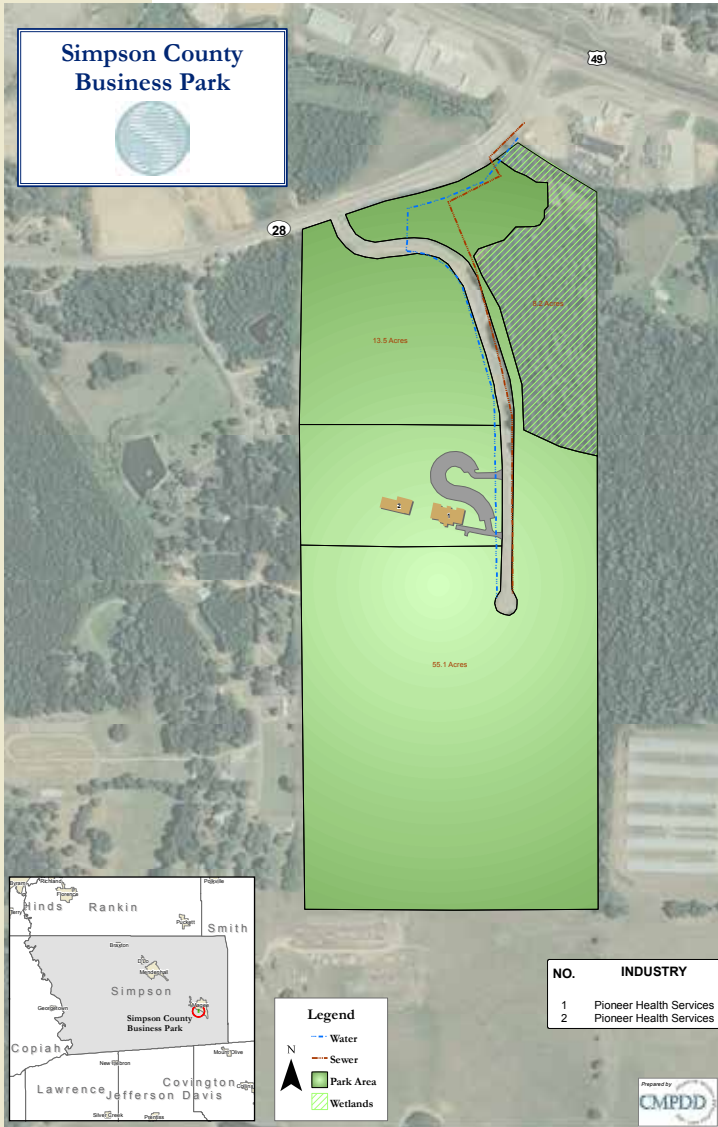
-  Medical Overlay District
-  Agricultural / Vacant
-  Residential Estate
-  Low Density Residential
-  Medium Density Residential
-  High Density Residential
-  Manufactured Home Residential
-  Low Intensity Commercial
-  General Commercial
-  High Intensity Commercial
-  Light Industrial
-  Heavy Industrial
-  Parks / Open Space
-  Public / Semi-Public
-  Downtown Preservation District



**Legend**

	Medical Overlay District
	Agricultural / Vacant
	Residential Estate
	Low Density Residential
	Medium Density Residential
	High Density Residential
	Manufactured Home Residential
	Low Intensity Commercial
	General Commercial
	High Intensity Commercial
	Agricultural Intensive
	Light Industrial
	Heavy Industrial
	Parks / Open Space
	Public / Semi-Public
	Water Bodies









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